PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

21 & 25 GROVE ASSOCIATES, LLC

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22 21 GROVE AVENUE (COUNTY ROUTE 639) TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY TOWNSHIP OF VERONA SIGNATURE BLOCK

APPLICANT

OWNER

GROVE REAL ESTATE, LLC

ATTORNEY

JASON R. TUYEL, ESQ. 2 UNIVERSITY PLAZA, SUITE 109 HACKENSACK, NJ 07601

LOCATION MAP

SCALE: $I'' = 1,000 \pm$



TAX & ZONING MAP

SCALE: $I'' = 200' \pm$

AERIAL MAP

SCALE: $I'' = 200' \pm$

ZONING RELIEF TABLE				
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED	
VARIANCE	§150-17.11 (A)	RESIDENTIAL USES NOT PERMITTED	3-STORY RESIDENTIAL	
VARIANCE	§150-17.11 (D)	MIN. SIDE SETBACK (ONE): 15 FT	6.7 FT	
VARIANCE	§150-17.11 (D)	MIN. SIDE SETBACK (BOTH): 35 FT	21.7 FT	
VARIANCE	§150-17.11 (D)	MIN. REAR SETBACK: 50 FT	15.0 FT	
VARIANCE	§150-17.11 (D)	MAX. BUILDING HEIGHT: 2.5 STORIES / 35 FT	3 STORIES / 44.58 FT	
VARIANCE	§150-17.11 (D)	MAX. LOT COVERAGE: 30% (9,363 FT)	61.5% (19,200 SF)	
VARIANCE	§150-17.11 (D)	MAX. IMPROVED LOT COVERAGE: 65% (20,285 FT)	69.7% (21,741 SF)	
VARIANCE	§150-17.11 (D)	MAX. FLOOR AREA RATIO: 50% (15,598 SF)	134.5% (41,961 SF)	
VARIANCE	§ 150-12.1 (B)(2)	MIN. NUMBER OF REQUIRED PARKING SPACES MAY NOT BE MET OR SATISFIED BY PARKING SPACES LOCATED WITHIN OR UNDERNEATH A PRINCIPAL BUILDING	PARKING UNDER BUILDING	
VARIANCE	§ 150-12.2 (A)	MIN. PARKING SPACE DIMENSIONS: 9 FT X 20 FT	8.5 FT X 18.0 FT	
VARIANCE	§ 150-12.8 (C)(3)	MINIMUM DRIVE AISLE WIDTH FOR 90° PARKING: 24 FEET	23.0 FT	
VARIANCE	§ 150-7.12 (A)	MAXIMUM RETAINING WALL HEIGHT EQUAL TO 4 FT IN FRONT YARD AND 6 FT ELSEWHERE	FRONT YARD: II.I FT	



PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 Fax 201.340.4472

PLAN REFERENCE MATERIALS:

BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY

STONEFIELD ENGINEERING, DATED 03/6/2019. ARCHITECTURAL PLANS PREPARED BY BILOW GARRETT GROUP ARCHITECTS AND PLANNERS, PC, DATED JUNE 25, 2021.

AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, MAGERY DATED 05/23/2018. LOCATION MAP OBTAINED FROM USGS QUADRANGLE MAPS - 7.5 MINUTE SERIES, TOWNSHIP OF VERONA, NJ,

DATED 2016 & CALDWELL, NJ, DATED 2016. TAX MAP OBTAINED FROM THE TOWNSHIP OF VERONA, ESSEX

PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF

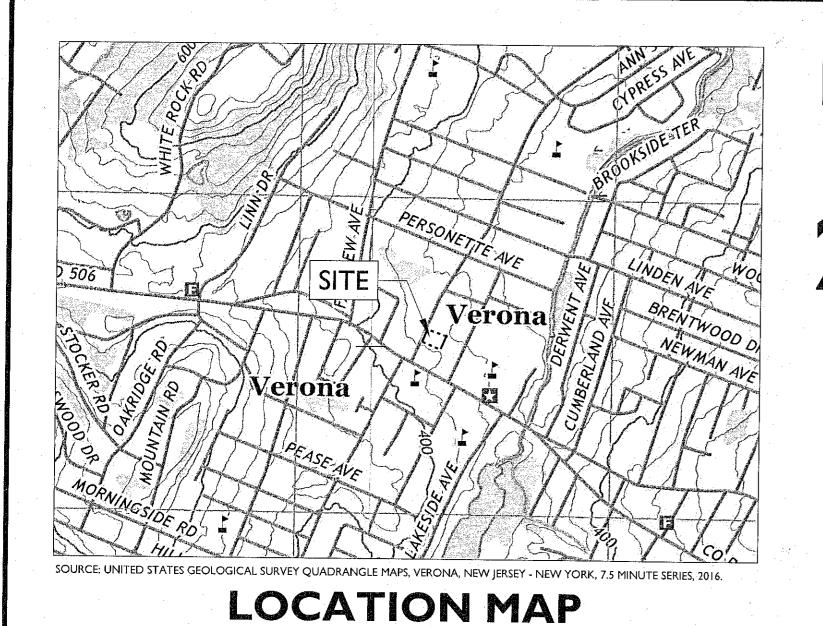
	SHEET INDEX	
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İ	DEMOLITION PLAN	C-3
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	CONSTRUCTION DETAILS	C-11 - C-14
	TRUCK TURNING	C-15

	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	DESCRIPTION
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	06/25/2021	03/04/2021	07/31/2020 MEM	02/28/2020 DBB	10/10/2019 ANY	09/20/2019 TL	DATE
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COVER SHEET

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PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

21 & 25 GROVE ASSOCIATES, LLC

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22 21 GROVE AVENUE (COUNTY ROUTE 639) TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

APPROVED BY THE ENGINEER OF THE TOWNSHIP OF VERONA ATTESTED TO BY

TOWNSHIP OF VERONA SIGNATURE BLOCK APPROVED BY THE TOWNSHIP OF VERONA LAND USE BOARD: LAND USE BOARD CHAIRPERSON LAND USE BOARD SECRETARY

APPLICANT

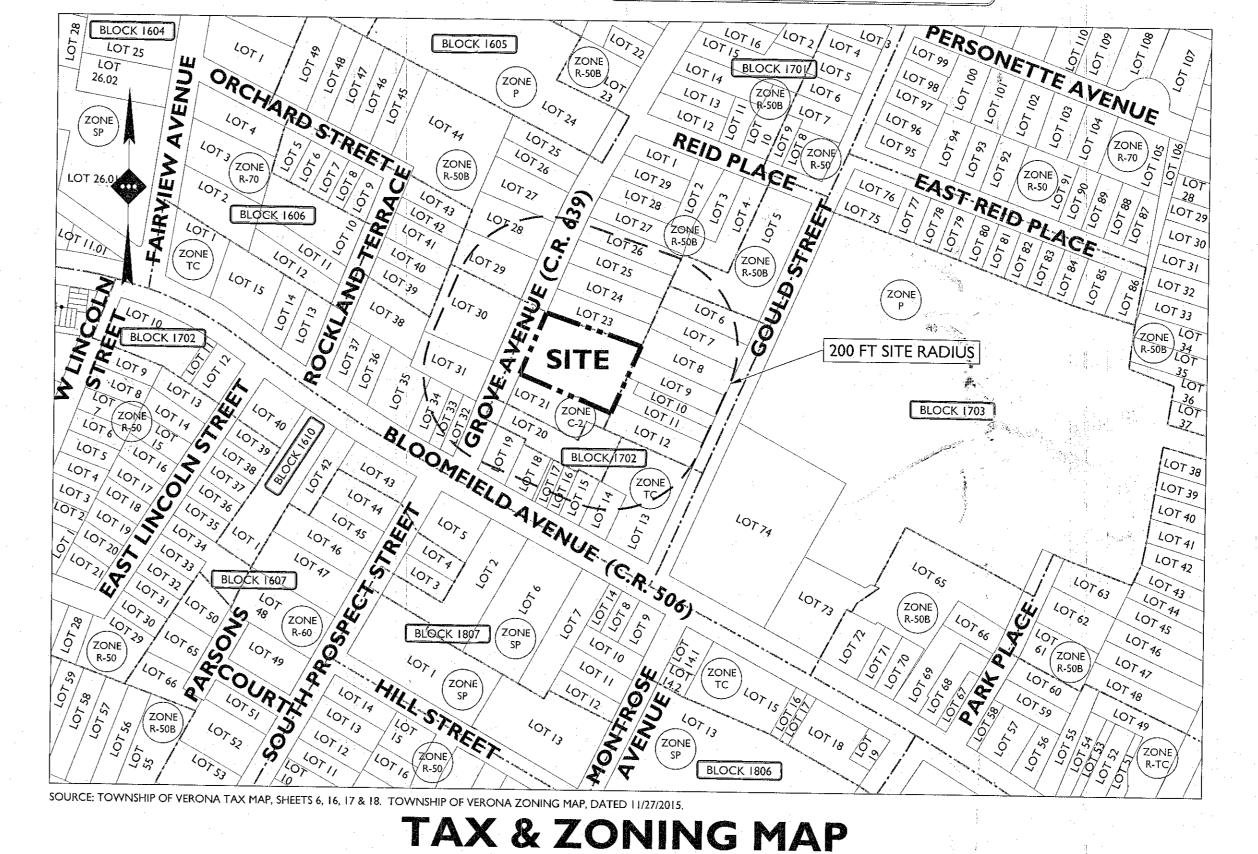
21 & 25 GROVE ASSOCIATES LLC 250 MOONACHIE ROAD, SUITE 302 BOROUGH OF MOONACHIE, NEW JERSEY, 07074 PHONE NUMBER FMAIL ADDRESS

OWNER

GROVE REAL ESTATE, LLC 21 GROVE AVENUE TOWNSHIP OF VERONA, NEW JERSEY, 07044

ATTORNEY

JASON R. TUVEL, ESQ. PRIME LAW 2 UNIVERSITY PLAZA, SUITE 109 HACKENSACK, NJ 07601

SCALE: I" = 1,000± PERSON FITE AVENUE STEP STERADIUS 1. OOM


AERIAL MAP

SCALE: I" = 200'±

ZONING RELIEF TABLE					
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED 3-STORY RESIDENTIAL		
VARIANCE	§150-17.11 (A)	RESIDENTIAL USES NOT PERMITTED			
VARIANCE	§150-17,11 (D)	MIN. SIDE SETBACK (ONE): 15 FT	6.7 FT		
VARIANCE	§150-17.11 (D)	MIN. SIDE SETBACK (BOTH): 35 FT	21.7 FT		
VARIANCE	§150-17.11 (D)	MIN. REAR SETBACK: 50 FT	15.0 FT		
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VARIANCE	§ 150-7.12 (A)	MAXIMUM RETAINING WALL HEIGHT EQUAL TO 4 FT IN FRONT YARD AND 6 FT ELSEWHERE	FRONT YARD: 11.1 FT		



PLANS PREPARED BY:



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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 Fax 201.340.4472

PLAN REFERENCE MATERIALS:

I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:

BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY

SCALE: I" = 200'±

- STONEFIELD ENGINEERING, DATED 03/6/2019.

 ARCHITECTURAL PLANS PREPARED BY BILOW GARRETT GROUP ARCHITECTS AND PLANNERS, PC, DATED JUNE 25, 2021.

 AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO.
- IMAGERY DATED 05/23/2018.
 LOCATION MAP OBTAINED FROM USGS QUADRANGLE MAPS - 7.5 MINUTE SERIES, TOWNSHIP OF VERONA, NJ, DATED 2016 & CALDWELL, NJ, DATED 2016.
- TAX MAP OBTAINED FROM THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY, DATED 11/27/2015.

 TONING MAP ORTAINED FROM THE TOWNSHIP OF VERONA.
- ZONING MAP OBTAINED FROM THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY, DATED 07/11/2011.
 SITE PLAN PREPARED FOR DECAMP COMMONS PREPARED BY MCCUMSEY PETRY, P.C., DATED 04/24/1998.
- 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

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6 06/25/2021 BJD FOR MUNICIPAL RESUBMISSION
5 03/04/2021 SPM FOR MUNICIPAL RESUBMISSION
4 07/31/2020 MEM FOR MUNICIPAL SUBMISSION
3 02/28/2020 DBB FOR MUNICIPAL SUBMISSION
2 10/10/2019 TL FOR MUNICIPAL SUBMISSION
1 09/20/2019 TL FOR MUNICIPAL SUBMISSION
1 09/20/2019 TL FOR MUNICIPAL SUBMISSION
1 SSUE DATE BY DESCRIPTION

NOT APPROVED FOR CONSTRUCTION

& design

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Rutherford, NJ · New Y Princeton, NJ · Tamp

S, LLC.
Rutherfor

OSED RESIDENTIAL
OPMENT
LOT 22
VENUE (C.R. 639)

PRO DEV

MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE No. 48731

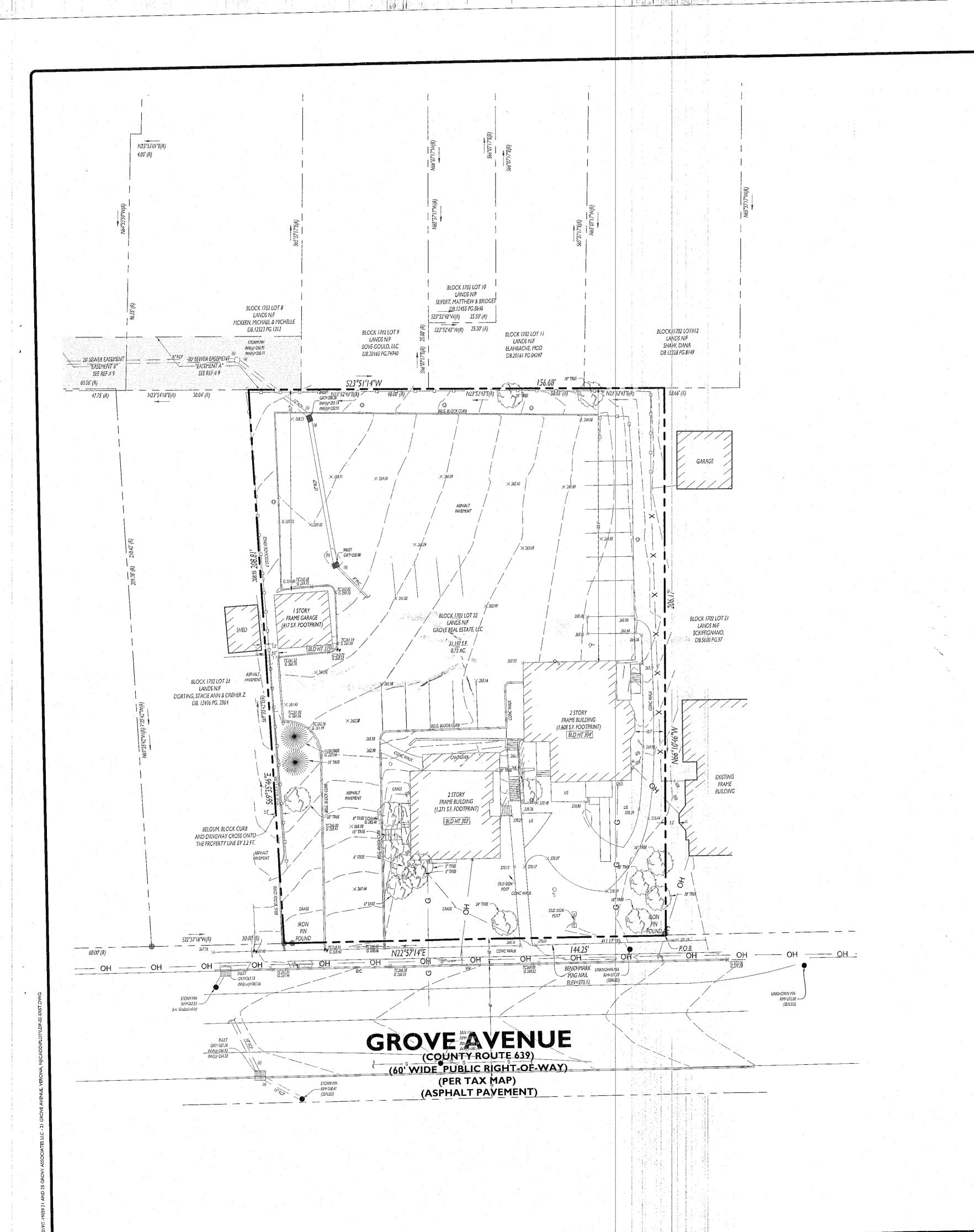
STONEFIELD engineering & design

SCALE: AS SHOWN PROJECT ID: T-1905

COVER SHEET

DRAWING:

C-I





SYMBOL

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POLE OVERHEAD WIRE

DESCRIPTION

UNDERGROUND GAS LINE UNDERGROUND ELECTRIC, CABLE & TELEPHONE SERVICE SIGNS / BOLLARDS CHAINLINK FENCE BOARD-ON-BOARD FENCE **GUIDE RAIL** MAJOR CONTOUR MINOR CONTOUR GRADE SPOT SHOT TOP OF CURB / BOTTOM OF CURB SPOT SHOT TOP OF WALL / BOTTOM OF WALL SPOT SHOT

BUILDING

CONCRETE SIDEWALK / MAT ASPHALT / CONCRETE CURB DEPRESSED CURB PROPERTY LINE INLET

FIRE HYDRANT

STONEFIE engineering & design



NOT APPROVED FOR CONSTRUCTION

SSOCIATE 1 GROVE

0>

MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

PRELIMINA

C

EXISTING CONDITIONS PLAN

1" = 20' PROJECT ID: T-19059

DRAWING:

I. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2019, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.

THIS SURVEY IS VALID ONLY WHEN AN EMBOSSED SEAL IS AFFIXED HERETO. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL

INSTITUTIONS OR SUBSEQUENT OWNERS.

ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES. STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR

FIELD LOCATIONS. BEARINGS ARE REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM, NAD 83 (2011). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.

6. BENCHMARK = MAG NAIL ELEV = 270.11 7. FIELD DATE: MARCH 18, 2019

REFERENCES

I. MAP ENTITLED TOPOGRAPHIC SURVEY, PROPERTY OF TOWNSHIP OF VERONA, LOT 22 BLOCK 91, ESSEX COUNTY, NEW JERSEY PREPARED BY McCUMSEY ASSOCIATES, VERONA, NEW JERSEY DATED 6/20/89. (LOT 22). 2. DEED BETWEEN TOWNSHIP OF VERONA (GRANTOR) AND GROVE REAL ESTATE,

4. DEED BETWEEN ELIZABETH A SCRIFFIGNANO (GRANTOR) AND ANTHONY P.

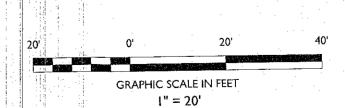
L.L.C. (GRANTEE) RECORDED IN ESSEX COUNTY REGISTERS OFFICE, AS DEED BOOK 5516 PAGE 803. (LOT 22). 3. MAP OF PROPERTY SITUATED IN TOWNSHIP OF VERONA, ESSEX COUNTY, N.J. PREPARED BY RICHARD J. HINGOS, INC. AND PREPARED FOR STACY ANN DORTING & ZACAHARY CARR-DREHER, DATED APRIL 28. 2014. (LOT 23).

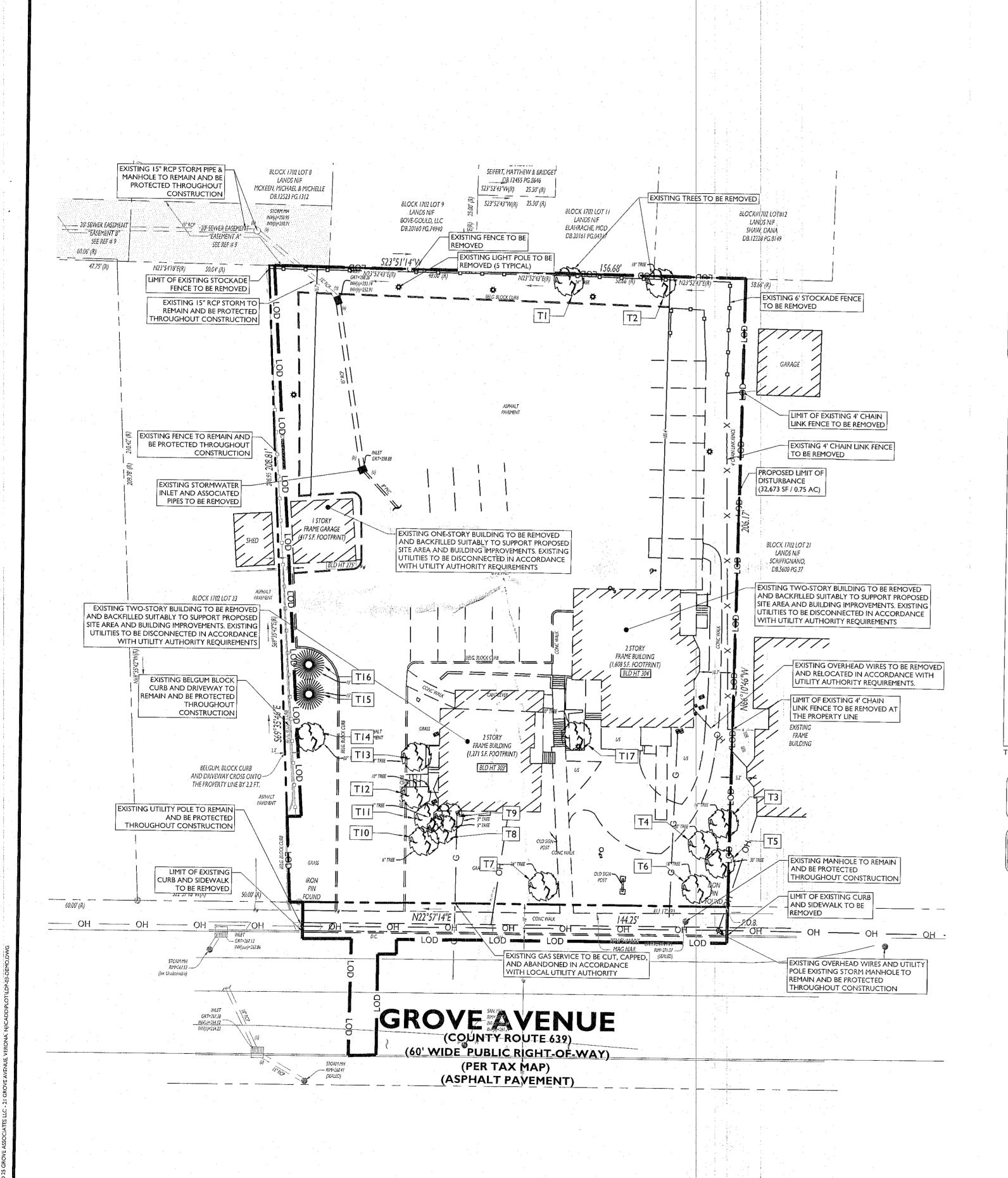
SCRIFFIGNANO (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, AS DEED 5600 PAGE 37. (LOT 21). 5. DEED BETWEEN CAROL BIONDI & CHRISTINE SHAW (GRANTOR) AND AND BOVE- GOULD, LLC (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS

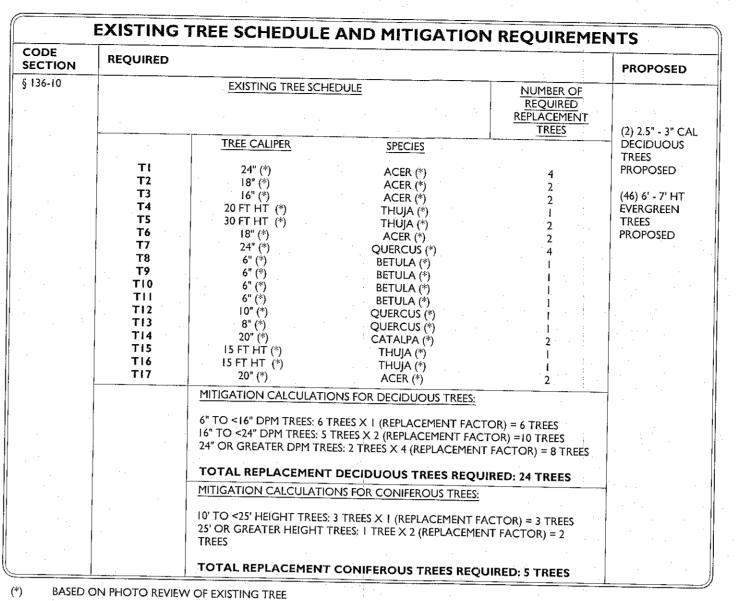
OFFICE, INSTR. # 2016060408 (LOT 9) 6. DEED BETWEEN CRAIG SOMERS AND JEAN SOMERS (GRANTOR) AND MATTHEW M. SEIFERT (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE

7. DEED BETWEEN STEPHEN R. OLSEN (GRANTOR) AND MOD ELAHRACHE (GRANTEE) RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, AS INSTR#

2016104347. (LOT 11). 8. DEED BETWEEN BRIAN COLE AND KLERSTEN (GRANTOR) AND DANA A SHAW (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, DEED BOOK 6116 PAGE 810 (LOT 12).







SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.

2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE

PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY. 4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

TREE PROTECTION FENCE SHOULD BE PLACED AROUND THE DRIP LINE OF TREES TO REMAIN

NO FLOODPLAINS, RIPARIAN ZONES, STEEP SLOPES, TRANSITION ZONES, OR WETLANDS ARE PRESENT ON SITE ALL TREE REMOVAL SHALL BE UNDER CERTIFICATION OF FROM A CERTIFIED TREE EXPERT

PROTECTION OF EXISTING VEGETATION NOTES

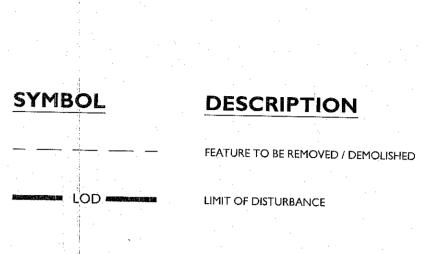
I. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED

2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:

 TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.

· RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (I" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."

 LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."



ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



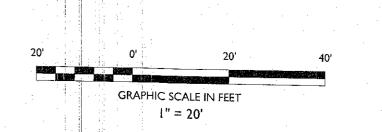
Know what's **below Call** before you dig.

I. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.

2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES. EXPLOSIVES, SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.

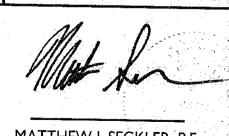
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE, ALL

WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS. 6. DISEASED TREES ON SITE IT MUST BE PROPERLY REMOVED IN A TIMELY MANNER UNDER THE SUPERVISION OF A CERTIFIED TREE EXPERT.



NOT APPROVED FOR CONSTRUCTION

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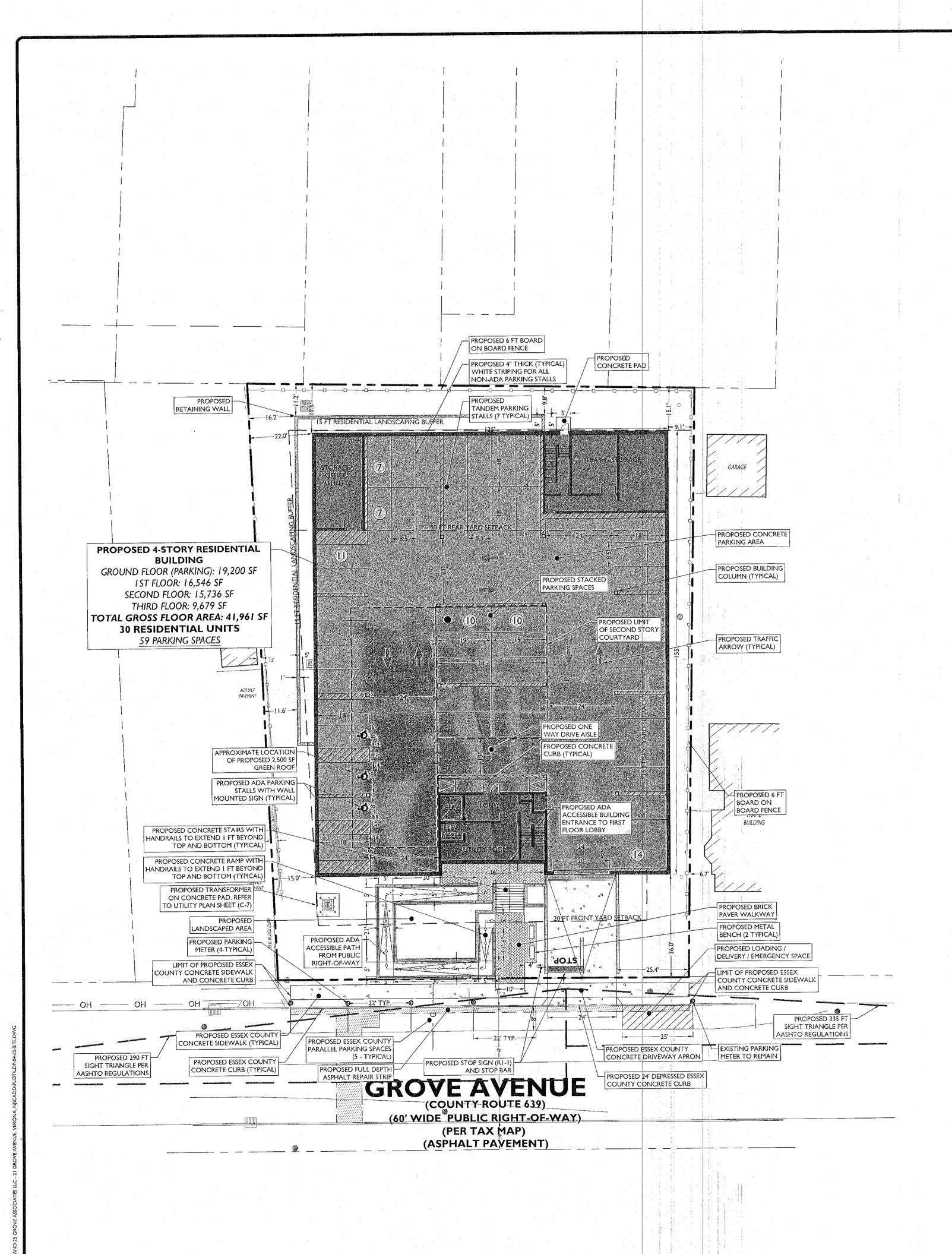
MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER



I" = 20' PROJECT ID: T-19059

TREE REMOVAL AND **DEMOLITION PLAN**

DRAWING:



TABLI	E OF LAND USE	AND ZONING	· · · · · · · · · · · · · · · · · · ·				
4,	BLOCK 1702, LC	OT 22					
PROF	ESSIONAL OFFICE AND	BUSINESS (C-2)					
PROPOSED USE							
THREE-STORY RESIDENTIAL NON-PERMITTED (V)							
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED				
MINIMUM LOT SIZE	15,000 SF (0.34 AC)	31,197 SF (0.72 AC)	31,197 SF (0.72 AC)				
MINIMUM LOT WIDTH	100 FT	144.3 FT	144.3 FT				
MINIMUM FRONT YARD SETBACK	20 FT	30.1 FT	36.0 FT				
MINIMUM SIDE YARD SETBACK (ONE)	IS FT	12.8 FT	6.7 FT (V)				
MINIMUM SIDE YARD SETBACK (BOTH)	35 FT	62.4 FT	21.7 FT (V)				
MINIMUM REAR YARD SETBACK	50 FT	102.7 FT	15.0 FT (V)				
MAXIMUM BUILDING HEIGHT (*)	2.5 STORIES / 35 FT	2-STORIES	3-STORIES / 44.58 FT (**) (V)				
MAXIMUM LOT COVERAGE	30% (9,359.1 SF)	10.6% (3,294.9 SF)	61.5% (19,200 SF) (V)				
MAXIMUM IMPROVED LOT COVERAGE	65% (20,278.1 SF)	70.2% (21,908 SF) (EN)	69.7% (21,741 SF) (V)				
MAXIMUM FLOOR AREA RATIO	50% (15,598 SF)	-	134.5% (41,961 SF) (V)				
MINIMUM LANDSCAPING BUFFER ALONG RESIDENTIAL ZONE	15 FT	REAR YARD: 8.5 FT (EN) SIDE YARD: 9.1 FT (EN)	REAR YARD: 15.1 FT SIDE YARD: 15.0 FT				

VARIANCE EXISTING NON-CONFORMITY

BUILDING HEIGHT DEFINITION: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE GROUND ELEVATION (265.42 FT) OF THE EXISTING NATURAL GRADE AT THE BUILDING LINE AROUND THE FULL PERIMETER OF THE BUILDING, TO THE BUILDINGS HIGHEST POINT.

BASED OFF THE PREVIOUSLY PROPOSED PLAN SUBMITTED 02/28/2020, THE BUILDING HEIGHT WAS CALCULATED FROM THE PROPOSED AVERAGE GROUND ELEVATION OF 264.49 FT. THE CURRENT PROPOSED BUILDING HEIGHT BASED ON THE PREVIOUS CALCULATION OF THE AVERAGE GRADE OF 264.49 FT WOULD RESULT IN A BUILDING HEIGHT OF 45.51 FT.

	OFF-STREET PARKING REQUIREMENTS	
CODE SECTION	REQUIRED	PROPOSED
§ 150-12.1 (B)(2) MINIMUM NUMBER OF SPACES	THE MINIMUM NUMBER OF REQUIRED PARKING SPACES MAY NOT BE MET OR SATISFIED BY PARKING SPACES LOCATED WITHIN OR UNDERNEATH A PRINCIPAL BUILDING	PARKING UNDER BUILDING (V)
§ 150-12.2 (A) SIZE OF PARKING SPACES	MINIMUM PARKING SPACE DIMENSIONS: 9 FT X 20 FT	8.5 FT X 18 FT (V)
§ 150-12.3. (B) ACCESS	NO DRIVEWAY OR ACCESS OR EGRESS FROM A PARKING AREA SHALL BE LOCATED CLOSER THAN 50 FEET FROM ANY INTERSECTION OR AS REQUIRED BY COUNTY OR STATE REGULATIONS.	COMPLIES
§ 150-12.3. (C) ACCESS	ALL DRIVEWAYS SHALL CROSS SIDEWALK AREAS AT SIDEWALK GRADE.	COMPLIES
§ 150-12.3 (D) ACCESS	MINIMUM DRIVEWAY SETBACK FROM ADJACENT PROPERTY LINE:	25.4 FT
§ 150-12.4(A)(1) ACCESS WIDTH	DRIVEWAY WIDTH: MINIMUM: 12 FT	24.0 FT
§ 150-12.4 (2)(A) ACCESS WIDTH	PARKING AREAS FOR THREE OR MORE VEHICLES AND ACCESS TO THIS PARKING SHALL BE PAVED AND SHALL BE DESIGNED AND PLANNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRINCIPLES.	COMPLIES
§ 150-12.6 & RSIS REQUIREMENTS	REQUIRED PARKING SPACES: I BEDROOM: 13 UNITS X 1.8 / UNIT = 23 SPACES 2 BEDROOM: 16 UNITS X 2 / UNIT = 32 SPACES 3 BEDROOM: 1 UNIT X 2.1 / UNIT = 2 SPACES TOTAL SPACES REQUIRED: 57 SPACES	59 SPACES
§ 150-12.8 (A) ADDITIONAL OFF-STREET PARKING REGULATIONS	ALL PARKING AREAS AND DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS CONCRETE, CONCRETE OR OTHER APPROVED PERMANENT HARD-SURFACED MATERIAL, AND ALL PARKING SPACES SHALL BE LINED AND DESIGNATED ON SAID PAVEMENT.	COMPLIES
§ 150-12.8 (B) ADDITIONAL OFF-STREET PARKING REGULATIONS	ALL PARKING AREAS AND DRIVEWAYS MUST HAVE A SIX INCH SOLID CONCRETE OR BELGIAN BLOCK CURB TO SEPARATE THE PARKING AREA AND/OR DRIVEWAY FROM THE REQUIRED FRONT, SIDE AND REAR YARD WHEN THESE PARKING AREAS ARE LOCATED WITHIN SIX FEET OF THE YARD.	COMPLIES
§ 150-12.8 (C)(3) ADDITIONAL OFF-STREET PARKING REGULATIONS	MINIMUM DRIVE AISLE WIDTH FOR 90° PARKING: 24 FEET	23.0 FT (V)
§ 150-12.8 (G) ADDITIONAL OFF-STREET PARKING REGULATIONS	ALL PARKING SPACES SHALL BE LAID OUT SO AS TO HAVE DIRECT ACCESS FROM A DRIVEWAY OR AISLE.	COMPLIES
§ 150-12.8 (H) ADDITIONAL OFF-STREET PARKING REGULATIONS	ALL OFF-STREET PARKING AREAS SHALL PROVIDE SPACE TO PERMIT A VEHICLE TO TURN AROUND ON THE SITE AS TO AVOID A BACKING MANEUVER WITHIN THE STREET.	COMPLIES

(V) VARIANCE

GENERAL DESIGN REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED			
§ 150-5.3 (F) YARD REGULAITONS	NO PAVEMENT IN REQUIRED FRONT YARD, SIDE YARD, OR REAR YARD EXCEPT TO ALLOW DRIVEWAY APRONS.	COMPLIES			
§ 150-7.12 (A) RETAINING WALLS	NO RETAINING WALL SHALL EXCEED FOUR (4) FEET IN HEIGHT IN THE MINIMUM FRONT YARD SETBACK AND SIX (6) FEET IN HEIGHT ELSEWHERE.	FRONT YARD: II.I FT (V) ELSEWHERE: 3.5 FT			
§ 150-7.12 (C) RETAINING WALLS	WHEN RETAINING WALLS ARE UTILIZED, A FENCE MUST BE PLACED UPON THE LAND BEHIND THE HIGHEST RETAINING WALL IF THE MEASUREMENT FROM THE BOTTOM OF THE LOWEST RETAINING WALL TO THE TOP OF THE HIGHEST RETAINING WALL EXCEEDS TEN FEET OVER A FIVE FOOT HORIZONTAL MEASUREMENT.	COMPLIES			
§ 150-7.12 (D) RETAINING WALLS	ALL RETAINING WALLS MUST BE DESIGNED NOT ONLY TO RETAIN THE SOIL BEHIND SAID WALL BUT ALSO CONTAIN STRUCTURES TO ENSURE ADEQUATE GROUND WATER DRAINAGE.	COMPLIES			
§ 150-7.13 (A) MECHANICAL EQUIPMENT	NO MECHANICAL EQUIPMENT SHALL BE LOCATED WITHIN A MINIMUM YARD REQUIREMENT AND SHALL NOT EXTEND MORE THAN FIVE FEET FROM THE STRUCTURE FOR WHICH THEY SERVE.	COMPLIES			
§ 150-7.18(D) SIDEWALKS, NON RESIDENTIAL	SIDEWALKS OF CONCRETE SHALL BE FIVE INCHES THICK EXCEPT AT POINTS OF VEHICULAR CROSSING, WHERE THEY SHALL BE AT LEAST EIGHT INCHES THICK AND SHALL BE REINFORCED WITH WELDED WIRE FABRIC MESH OR AN EQUIVALENT.	COMPLIES			
§ 150-7. 73(A) FENCES	MAXIMUM FENCE HEIGHT MEASURED FROM GROUND LEVEL:	6.0 FT			
§ 150-7. 73(G) FENCES	MINIMUM FENCE SETBACK FROM PROPERTY LINE: 0.5 FT	1.0 FT			
§ 150-7. 73(L) FENCES	NO FENCE SHALL BE ERECTED THAT INTERFERES WITH THE PUBLIC RIGHT-OF-WAY OR INTERFERES WITH HE VISIBILITY OF VEHICULAR AND PEDESTRIAN TRAFFIC PROCEEDING ALONG ANY PUBLIC RIGHT-OF-WAY.	COMPLIES			

(V) VARIANCE

DESIGN VALUES FOR TURNING SIGHT DISTANCE (AASHTO)

			TERSECTIC VEHICLE			
. L	ntersection		te(d) Stop Co and Highway		or Road	98 . S
Design	···	Left-Turn		Righ	1-Turn or Cr	D93
Speed	Þ	5U	WB	P	\$U	WB
25	280	350	A25	240	315	385
30	335	420	510	290	375	465
35	390	490	595	335	440	540
40	445	540	680	385	500	620
45	500	630	760	430	565	695
50	555	700	845	480	625	775
55	510	770	930	530	690	850
60	665,	840	1015	575	750	930
65	720	910	1100	625	815	1005
70	175	980	1185	670	875	1085

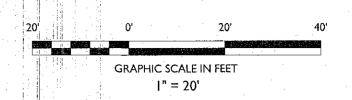


SYMBOL

		PROPERTY LINE
	PRINCIPAL INTERPRETATION PROFESSION PROFESSI	SETBACK LINE
	· .	. 4.
		SAWCUT LINE
		PROPOSED CURB
		TROTOGED COMB
		DE OROCEO DEPORTECEO CUIDA
		PROPOSED DEPRESSED CURB
		PROPOSED SIGNS / BOLLARDS
	1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	
	TO THE PART OF THE PURPOSE AND A SECOND	PROPOSED BUILDING
		FROF OSED BOILDING
	2	DO ODOSED CÓNICOSES
	4 4	PROPOSED CONCRETE
	<u> </u>	
		PROPOSED RETAINING WALL
		PROPOSED RAILING
		PROPOSED BUILDING DOORS
		FROFOSED BOILDING DOORS
		PROPOSED BOARD ON BOARD FENCE
	7. 1	
	: A	
	xxxx	PROPOSED CHAIN LINK FENCE
`		
		PROPOSED PARKING METER
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GENERAL NOTES

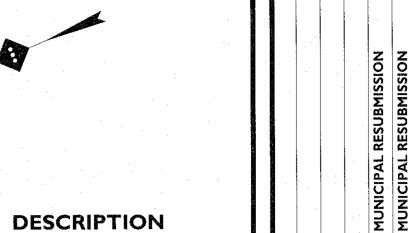
- WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LIABILITY INSURANCE.
- IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- PROPERTY. 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR
- DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS REFLECTED WITHIN THE PLAN SET.
- DEVICES, LATEST EDITION. PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES. 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES





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	MARKOTE PROPERANCIAMO RATIONACIONES UNICERANCIONOS RATIONAL	SETBACK LINE
	<u> </u>	SAWCUT LINE
		PROPOSED CURB
		PROPOSED DEPRESSED CURB
		PROPOSED SIGNS / BOLLARDS
		PROPOSED BUILDING
	a	PROPOSED CÓNCRETE
		PROPOSED RETAINING WALL
		PROPOSED RAILING
		PROPOSED BUILDING DOORS
		PROPOSED BOARD ON BOARD FENCE
ς.	xxxx	PROPOSED CHAIN LINK FENCE
. /		PROPOSED PARKING METER

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION, COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED
- 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE
- UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP
- FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL
- 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE II. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED
- AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOT APPROVED FOR CONSTRUCTION

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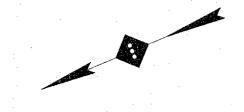
MATTHEW I. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER

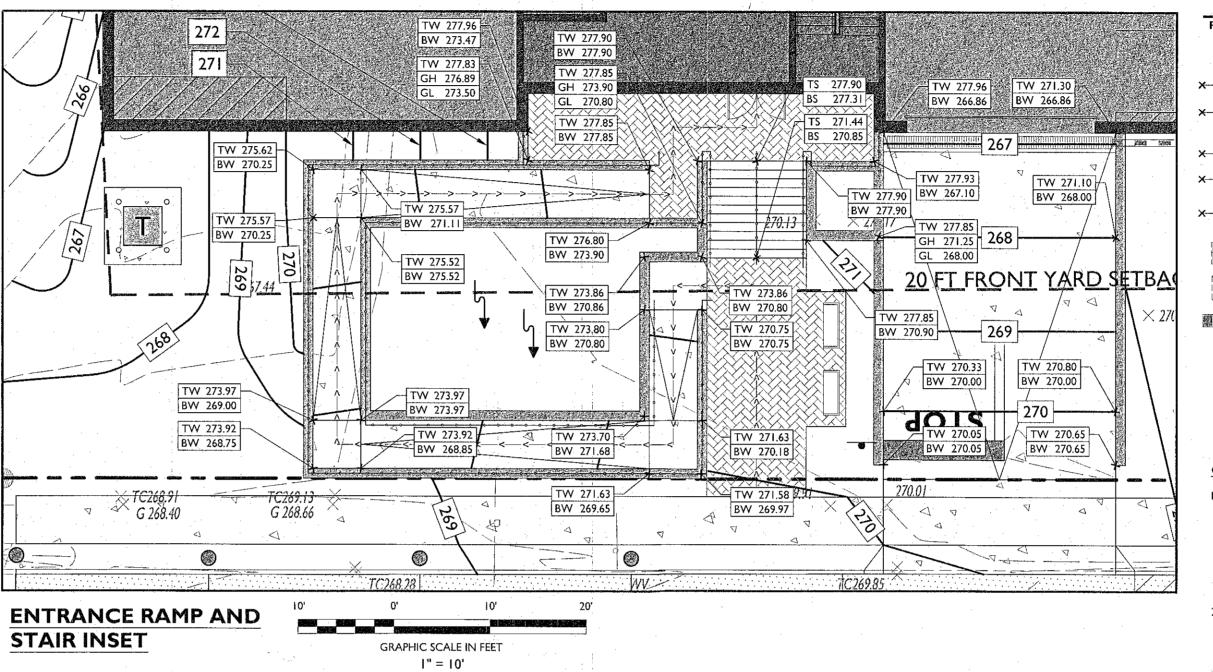


I" = 20' PROJECT ID: T-19059

SITE PLAN (LOWER LEVEL)

DRAWING:





SYMBOL

RIDGELINE

X---- G 100.00

X----TC 100.50 × FC 100.00 X DC 100.12 BC 100.00

DESCRIPTION

PROPOSED GRADING CONTOUR

PROPOSED GRADING RIDGELINE PROPOSED DIRECTION OF

DRAINAGE FLOW PROPOSED GRADE SPOT SHOT

PROPOSED TOP OF CURB /

BOTTOM OF CURB SPOT SHOT PROPOSED FLUSH CURB SPOT PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT PROPOSED STORMWATER INLETS

PROPOSED STORMWATER MANHOLES

PROPOSED STORMWATER PIPE

I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.

THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.

3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.

4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS. 5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS

FOLLOWS: CURB GUTTER: CONCRETE SURFACES: 1.00%

 ASPHALT SURFACES: 5. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE

FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. 6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL, IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

I. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 200% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS

2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN

4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.

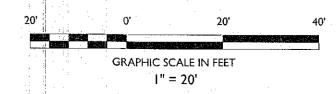
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH

OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE. 6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL

ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP. 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS. 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES

VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).

9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

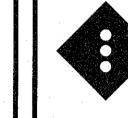


DRAINAGE AND UTILITY NOTES

- I. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING. 2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT
- THE LOWEST INVERT AND WORK UP-GRADIENT. 3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD, SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD
- ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING. 4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET, THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- 1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET. 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION. 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE
- WITH THE LATEST OSHA REGULATIONS. 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER



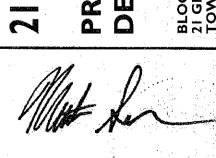
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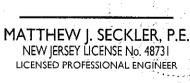
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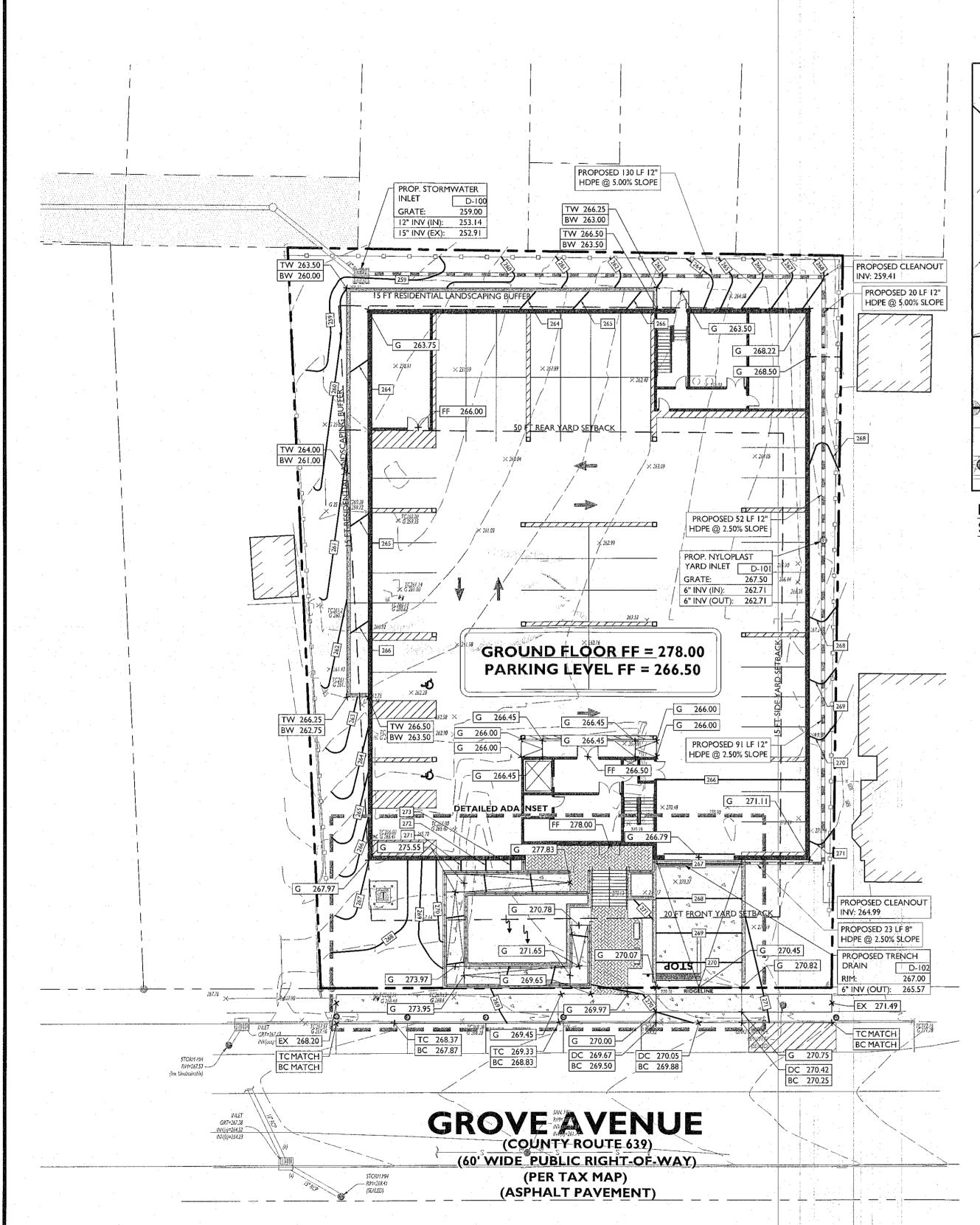


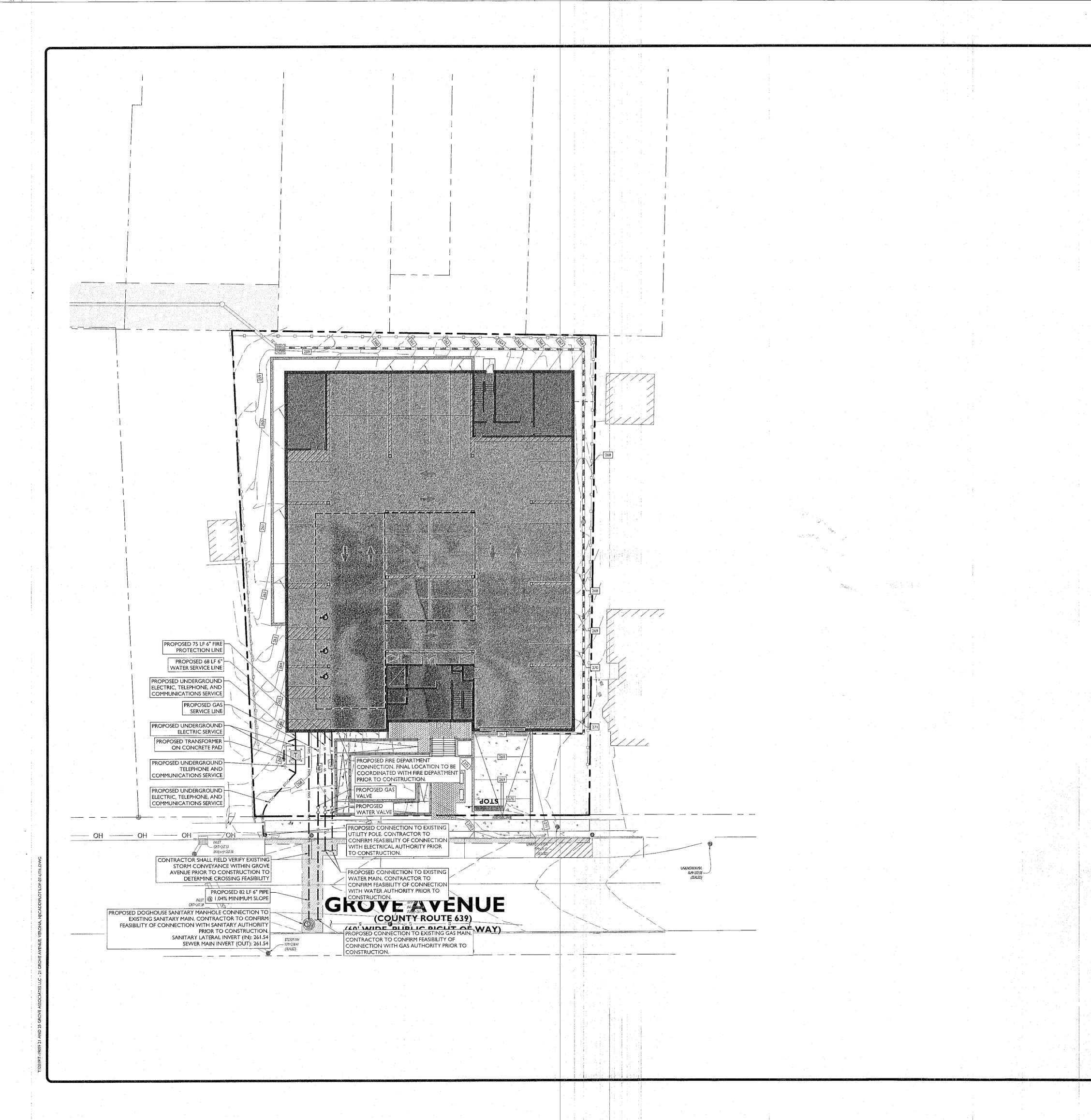


I" = 20' PROJECT ID: T-19059 TITLE:

GRADING & DRAINAGE PLAN

DRAWING:







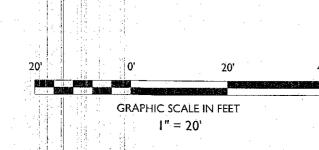
SYMBOL DESCRIPTION PROPOSED SANITARY LATERAL PROPOSED DOMESTIC WATER SERVICE PROPOSED ELECTRICAL/DATA CONDUITS PROPOSED ELECTRICAL CONDUITS PROPOSED OVERHEAD WIRES PROPOSED GAS LINE PROPOSED VALVE PROPOSED SANITARY MANHOLE / CLEANOUT PROPOSED UTILITY POLE

DRAINAGE AND UTILITY NOTES

- I. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING. 2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN
- OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED. 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION. 4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF
- THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.

 5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.

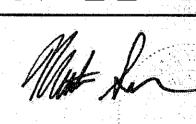
 6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO
- CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY. 8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY
- SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT. 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET, THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- 10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



M S O S S GRO 25

POSED RESIDENTIA A D

NOT APPROVED FOR CONSTRUCTION



MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER



I" = 20' PROJECT ID: T-19059

UTILITY PLAN

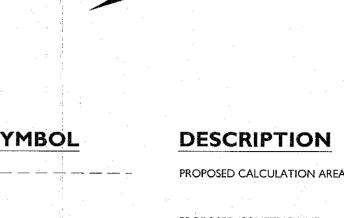
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DRAWING:

			PROPOSED LUMINAIRE	SCHEDULE		•	
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	3	WESTWOOD 912-2 SERIES WALL MOUNTED LIGHT - 50 WATTS	<u>-</u> ·	0.90	COOPER LIGHTING	912-2-50PAR20-120-NFL.IES
	В	1	LED PATRIOT WALL SCONCE LIGHT (XPWS3) - 55 WATTS	WT	0.90	LSI LIGHTING	XPWS3-WT-LED-48-350 -CW-UE.IES
	С	1	XLXM3 SERIES AREA DECORATIVE LED AREA LIGHT - 108 WATTS	Ш	0.90	LSI LIGHTING	XLXM3-PT-3-LED-HO-NW.I
	D	· I	XLXM3 SERIES AREA DECORATIVE LED AREA LIGHT - 108 WATTS	٧	0.90	LSI LIGHTING	XLXM3-PT-5-LED-HO-NW.I
	E .	12	EXCURSION LED RECESSED CANOPY LIGHT - 40K - 87.5 WATTS	-	0.90	LSI LIGHTING	EXN-EGLED-10L-T5W-40.IES

EXTERIOR POLE MOUNTED FIXTURE MOUNTING HEIGHT SHOWN IS RELATIVE TO FINISHED GRADE AT SURFACE.

LIGHTING CALCULATION SUMMARY						
LOCATION	AVERAGE	MINIMUM	MAXIMUM	AVG / MIN RATIO	MAX/MIN RATIO	
PEDESTRIAN WALKWAYS	2.26 FC	0.90 FC	13.30 FC	2.51 : 1	14.78 : 1	
ACCESS POINT	5.30 FC	0.90 FC	13.30 FC	5.89 : 1	14.78 : 1	
DRIVE WAY	5.56 FC	1.10 FC	11.00 FC	5.05 : 1	10.00 : 1	
PARKING AREA (COVERED)	2.26 FC	1.10 FC	13.10 FC	2.05 : 1	11.91 : 1	



SYMBOL	DESCRIPTION				
	PROPOSED CALCULATION AREA				
ALER MATTER STATUTE AND SEA THE STATE STATES STATES OF THE	PROPOSED ISOMETRIC LINE				
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)				
+ x . x	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)				
•	PROPOSED AREA LIGHT				
	PROPOSED BUILDING MOUNTED LIGH				

GENERAL LIGHTING NOTES

I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE

OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.

2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN

THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.

3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS

FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:

4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION,

5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD

> GRAPHIC SCALE IN FEET I" = 20'

OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.

LIGHT EMITTING DIODES (LED): 0.85
 HIGH PRESSURE SODIUM: 0.72
 METAL HALIDE: 0.72

ENGINEERING & DESIGN, LLC.

NOT APPROVED FOR CONSTRUCTION



ASSOCIATES, GROVE

POSED PRO DEVI

MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 4873 I LICENSED PROFESSIONAL ENGINEER



1" = 20' PROJECT ID: T-19059

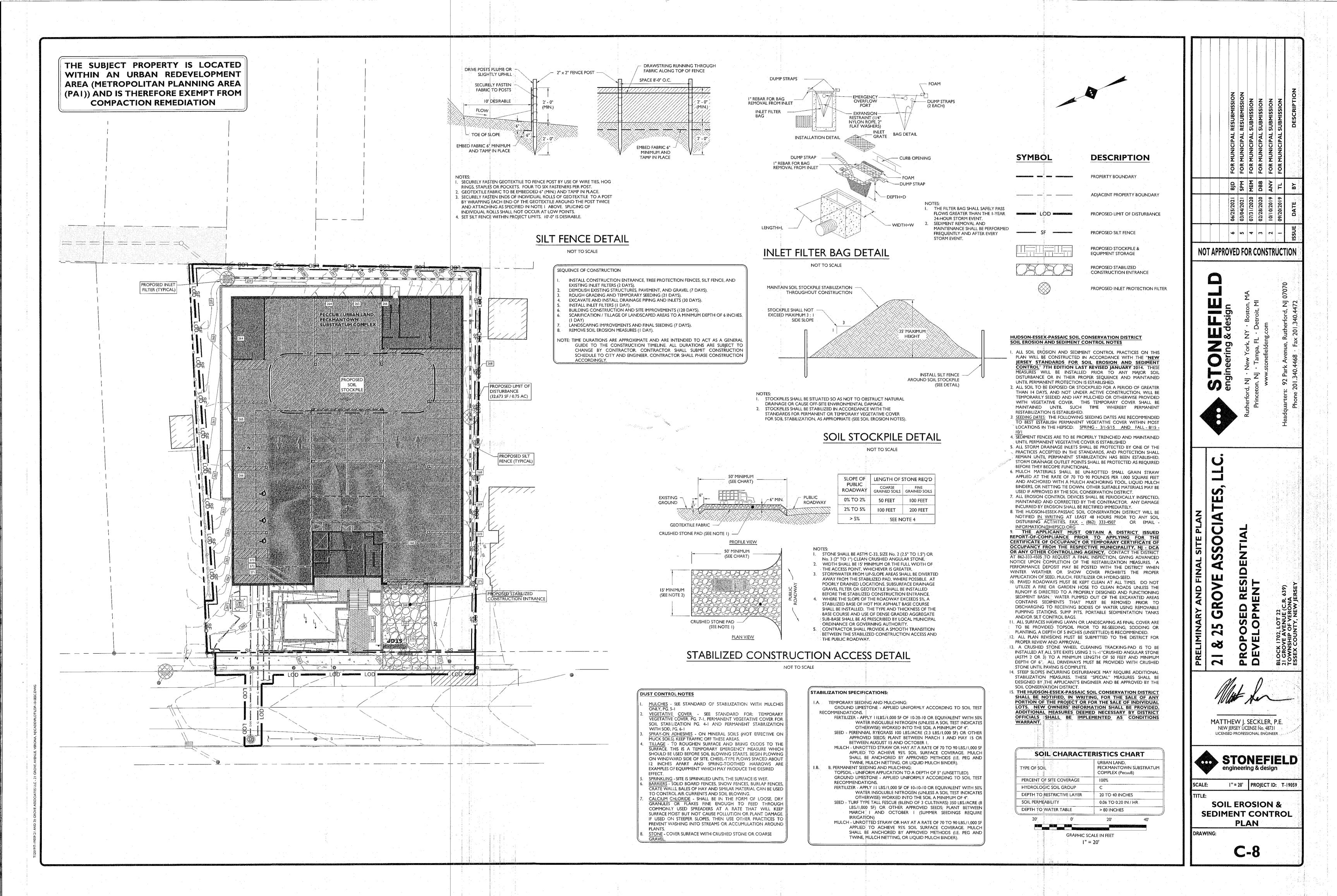
DRAWING:

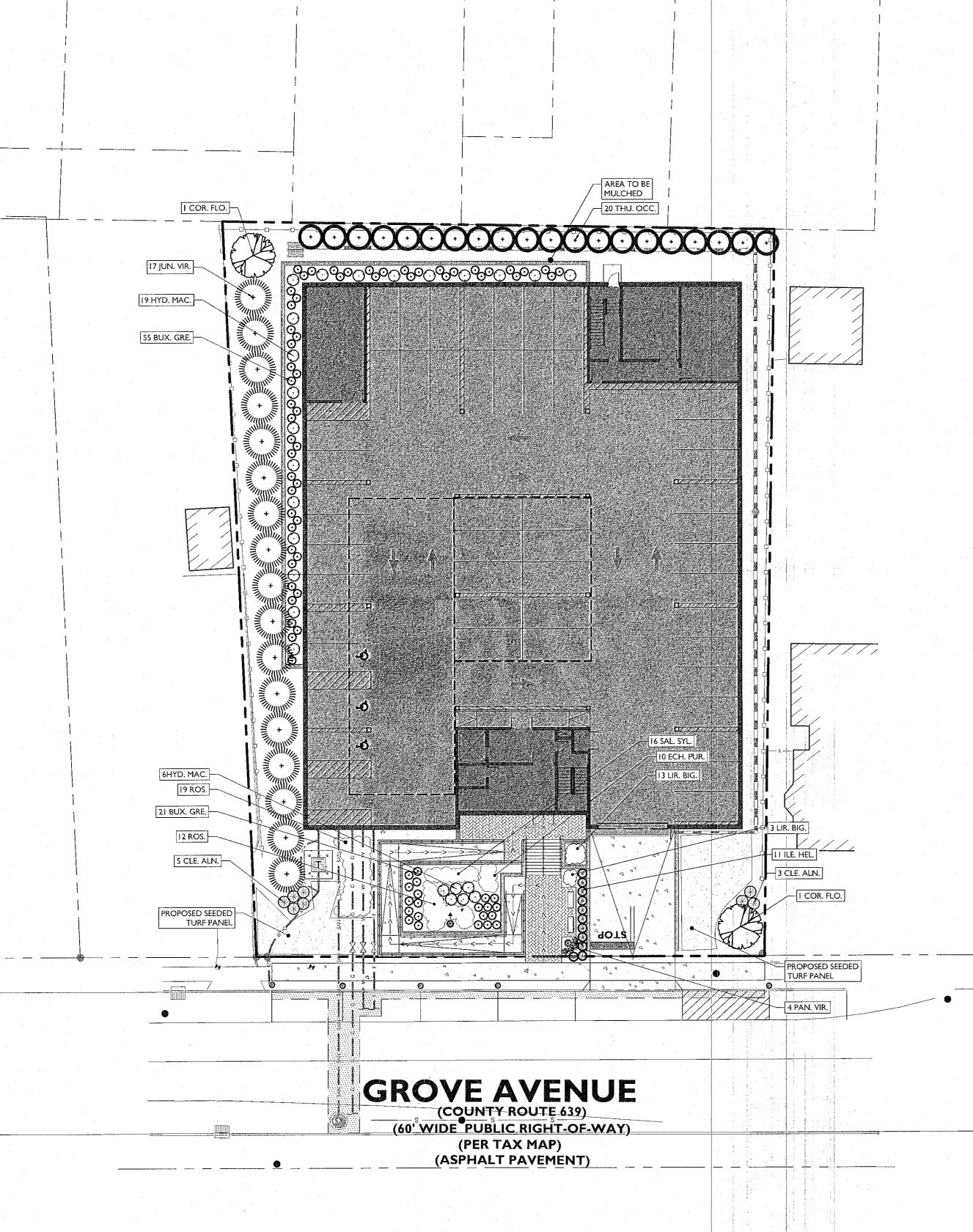
LIGHTING PLAN

C-7

0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.5 0.3 10.0 0.2 0.1 0.1 t.1 t.6 0.6 0.1 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.4 0.5 0.3 0.1 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 (COUNTY ROUTE 639) 02 02 (60' WIDE PUBLIC RIGHT-OF-WAY) 0.0 0.0 0.0 (PER TAX MAP)

(ASPHALT PAVEMENT)





			T SCHEDULE		
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
COR. FLO.	2	CORNUS FLORIDA 'APPALACHIAN JOY'	WHITE FLOWERING DOGWOOD	2.5"-3" CAL	B&B (LOW BRANCHED) (FAL DIGGING HAZARD)
EVERGREEN TREES					
THU. OCC.	20	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	8' - 10' HEIGHT	B&B
JUN, VIR.	.17	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	8' - 10' HEIGHT	B&B
EVERGREEN SHRUB	s				
BUX. GRE.	76	BUXUS X 'GREEN YELVET'	GREEN VELVET BOXWOOD	18"-24"	B&B
ILE, HEL.	II ·	ILEX CRENATA 'HELLERI'	HELLERI HOLLY	24"-36"	CONT.
DECIDUOUS SHRU	3S		· ·		· · · · · · · · · · · · · · · · · · ·
HYD. MAC.	26	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BIGLEAF HYDRANGEA	24"-30"	5 GAL
ROS.	31	ROSA X CARPET ROSE	CARPET ROSE	3 GAL	CONT. 36" O.C.
CLE. ALN.	8	CLETHRA ALNIFOLIA	SUMMERSWEET	24"-36"	B&B
GROUND COVERS					
ECH. PUR.	10	ECHINACEA PURPUREA	CONE FLOWER	2 GAL.	CONT. 18" O.C.
SAL. SYL.	16	SALVIA X SYLVESTRIS 'SNOW HILL'	MEADOW SAGE	2 GAL.	CONT. 18" O.C.
GRASSES					
LIR. BIG.	16	LIRIOPE SPICATA 'BIG BLUE'	BIG BLUE LILYTURF	I GAL.	CONT. 18" O.C.
PAN, VIR.	4	PANICUM VIRGATUM 'SHANENDOAH'	RED SWITCH GRASS	2 GAL.	CONT. 30" O.C.

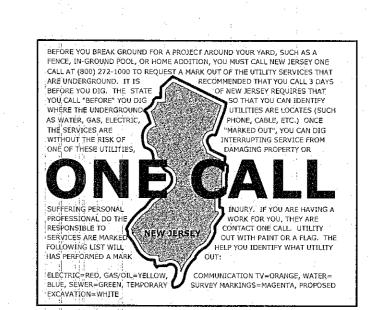
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS				
CODE SECTION	REQUIRED	PROPOSED		
§ 150-11.1 (A) BUFFER ZONE REQUIREMENTS	ALL COMMERCIAL, INDUSTRIAL, OFFICE, APARTMENT, HEALTH CARE, INSTITUTIONAL, OR A PUBLIC USE ADJOINING OR ABUTTING A RESIDENTIAL ZONE, AN SHALL PROVIDE A BUFFER ZONE IN ACCORDANCE WITH THE STANDARDS SET FORTH BELOW: 5% OF LOT DEPTH MINIMUM: 5 FT MAXIMUM 30 FT	15.0 FT*		
§ 150-11.1 (B) BUFFER ZONE REQUIREMENTS	NO PRINCIPAL OR ACCESSORY STRUCTURE, OTHER THAN AS MAY BE PROVIDED HEREIN, NOR ANY OFF-STREET PARKING OR LOADING AREAS OR OTHER USE SHALL BE PERMITTED WITHIN THE BUFFER ZONE.	COMPLIES		
§ 150-11.2 (B) GENERAL LANDSCAPING REQUIREMENTS	ANY USE WHICH IS NOT CONDUCTED WITHIN A COMPLETELY ENCLOSED BUILDING, SUCH AS REQUIRED OFF-STREET PARKING, SHALL BE SCREENED BY A SOLID OR CLOSELY WOVEN FENCE OR BY EVERGREEN HEDGES OR SHRUBS SPACED AT INTERVALS OF NOT MORE THAN FIVE FEET, LOCATED AND MAINTAINED IN GOOD CONDITION, WITHIN TEN FEET OF THE PROPERTY LINE OR THE ZONE DISTRICT BOUNDARY LINE	COMPLIES		
§ 150-11.4 (A) USE OF AREAS RESTRICTED	A PLANTED AREA AND A PLANTED BUFFER AREA REQUIRED BY THIS CHAPTER SHALL NOT BE USED FOR ANY BUILDINGS, STRUCTURES, PAVING OR PARKING OR FOR THE SALE, DISPLAY, STORAGE OR LEASING OF MATERIALS OR FOR ANY OTHER USE OTHER THAN A PLANTED AREA OR A PLANTED BUFFER AREA EXCEPT DETENTION BASINS	COMPLIES		
§ 150-11.6 (B) DESIGN CRITERIA	THE PLANTED AREA OR REQUIRED PLANTED BUFFER AREA SHALL BE PLANTED WITH APPROVED PLANT MATERIAL WITH SUFFICIENT ORGANIC SANITARY MATERIAL, TOPSOIL, PEAT MOSS AND THE LIKE, SO THAT THE SAME SHALL BE LIKELY TO THRIVE. MINIMUM DEPTH OF TOPSOIL IN ALL TURF AREAS SHALL BE FOUR INCHES.	COMPLIES		

REFER TO THE TABLE OF LAND USE AND ZONING ON SHEET C-4

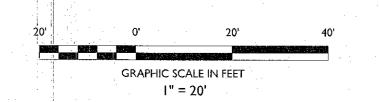
IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.



LANDSCAPING NOTES

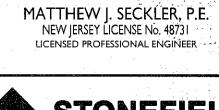
- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED, 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE
- ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET, NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
 7. CONTRACTOR TO MAINTAIN A MINIMUM DEPTH OF 4 INCHES OF TOPSOIL IN ALL TURF AREAS.



NOT APPROVED FOR CONSTRUCTION

SSO GROVE

25

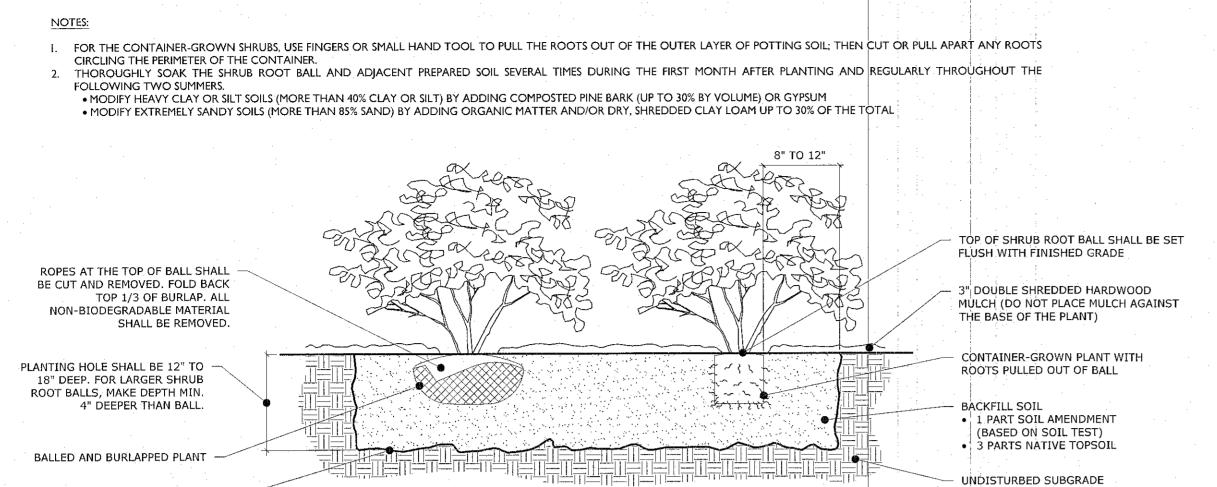


STONEFIELD engineering & design

I" = 20' PROJECT ID: T-19059

LANDSCAPING PLAN

DRAWING:



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

NOT TO SCALE

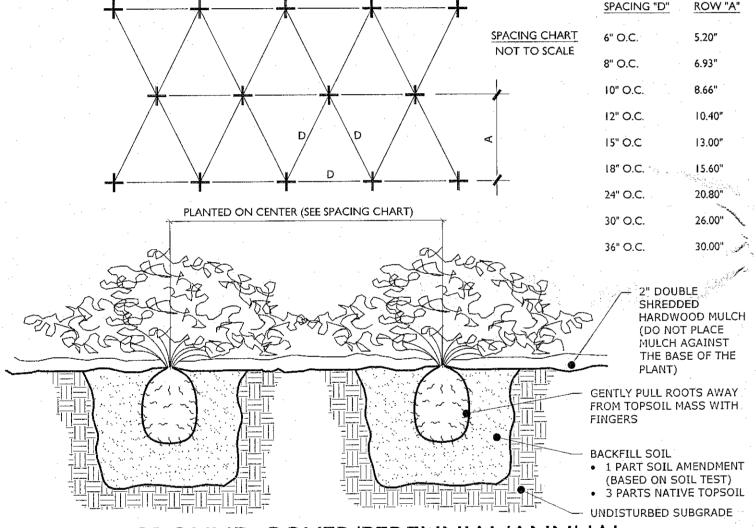
THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

SOIL SURFACE ROUGHENED TO

BIND WITH BACKFILL SOIL.

ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS

• MODIFY HEAVY CLAY OR SILT SOILDS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR • MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP

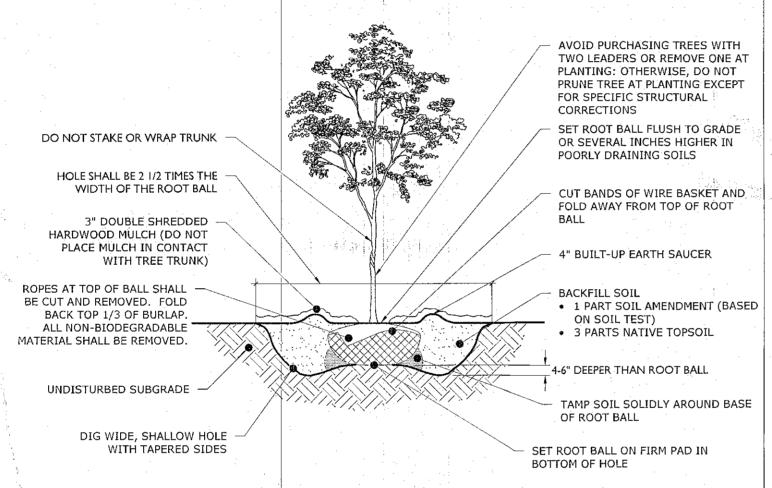


GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

LOAM UP TO 30% OF THE TOTAL MIX

I. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER. 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY • MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY



REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND
- 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE L'ANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- . In order to avoid damage to roots, bark or lower branches, no vehicle, equipment, debris, or other MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.

3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE

- TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS, NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED.
- IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL." LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM
- UP TO 30% OF THE TOTAL MIX. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS,
- ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT
- 6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- 7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- 8. LANDSCAPE CONTRACTOR SHALL VERIEY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE
- PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE
- I. Double shredded hardwood mulch or approved equal shall be used as a three inch (3") top dressing in all SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE
- EASILY DISPLACED BY WIND OR WATER RUNOFF. 2. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR
- EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL
- '5. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
- <u>(CRO®) TREE SAVER</u> A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM, SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA, THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE, DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES

- REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER
- COMMON NAMES 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.
- ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LÄRVAE, 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR
- FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE
- 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
- TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. (THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS). ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS
- USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED. 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS, EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF
- PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE. 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING
- 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN possible. The root ball shall be kept moist at all time and covered with moistened mulch or aged WOODCHIPS, PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT, PLANTINGS shall be untied and proper spacing shall be allotted for air circulation and to prevent disease, wilting, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- I. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO
- RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
- 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - DECEMBER 15)

(STARTING SEPTEMBER 15):

CERCIS CANADENSIS

CORNUS VARIETIES

LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON

ABIES CONCOLOR **CORNUS VARIETIES** OSTRYA VIRGINIANA ACER BUERGERIANUM CRATAEGUS VARIETIES PINUS NIGRA ACER FREEMANII CUPRESSOCYPARIS LEYLANDII PLATANUS VARIETIES ACER RUBRUM FAGUS VARIETIES POPULUS VARIETIES ACER SACCHARINUM HALESIA VARIETIES PRUNUS VARIETIES BETULA VARIETIES ILEX X FOSTERII PYRUS VARIETIES CARPINUS VARIETIES QUERCUS VARIETIES (NOT Q. PALUSTRIS) ILEX NELLIE STEVENS CEDRUS DEODARA ILEX OPACA SALIX WEEPING VARIETIES CELTIS VARIETIES JUNIPERUS VIRGINIANA SORBUS VARIETIES

CERCIDIPHYLLUM VARIETIES KOELREUTERIA PANICULATA TAXODIUM VARIETIES LIQUIDAMBAR VARIETIES TAXUX B REPANDENS LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES CRATAEGUS VARIETIES MALUS IN LEAF ULMUS PARVIFOLIA VARIETIES NYSSA SYLVATICA

7. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION. 8. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY

AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION

AS APPROVED BY THE LOCAL MUNICIPALITY. 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. I. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR

OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION 2. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3)

- OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS
- 3. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE
- CONTRACT SHALL BE ESTABLISHED. 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION,
- THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.

2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE.

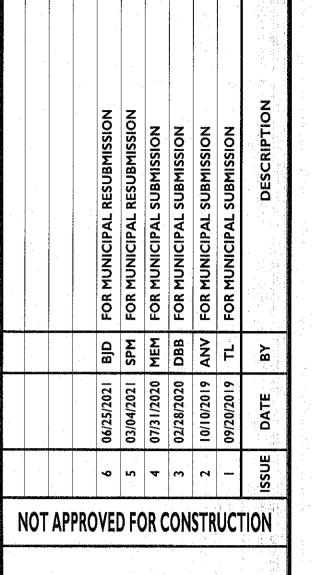
- THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- . SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS. 2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND
- WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION." 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD. 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER, IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY

ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE





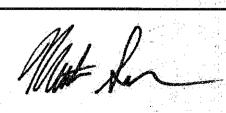
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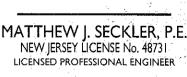
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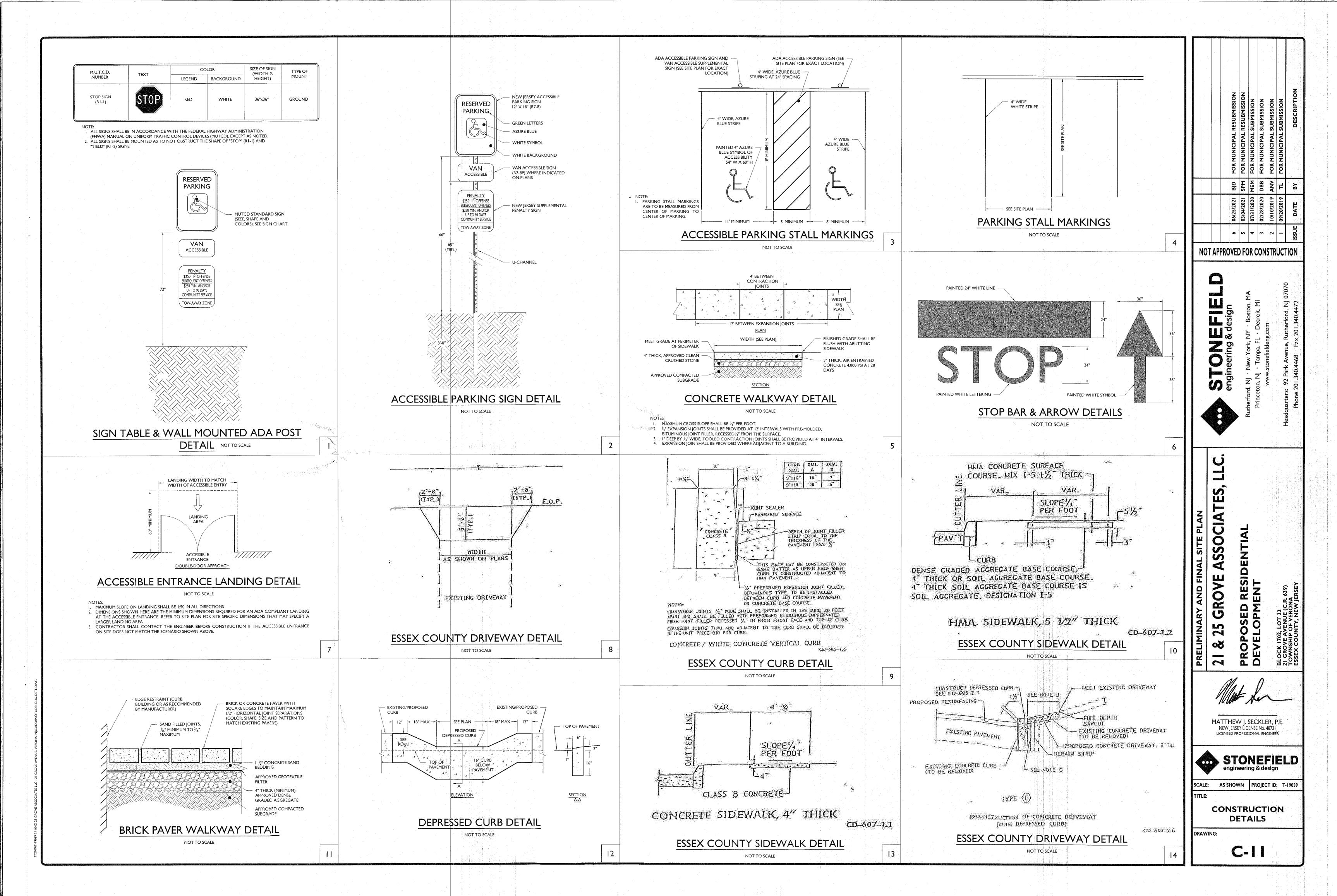


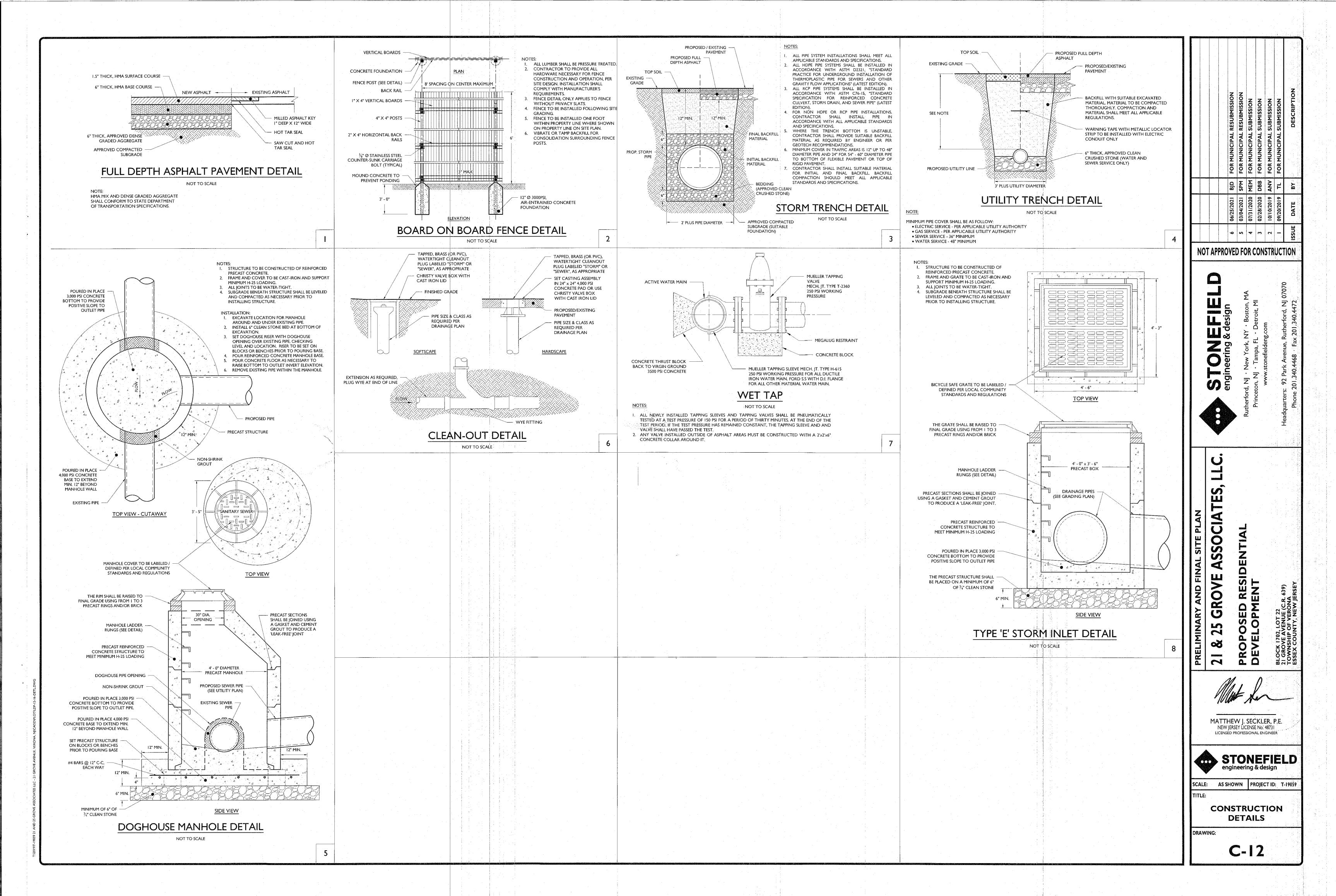


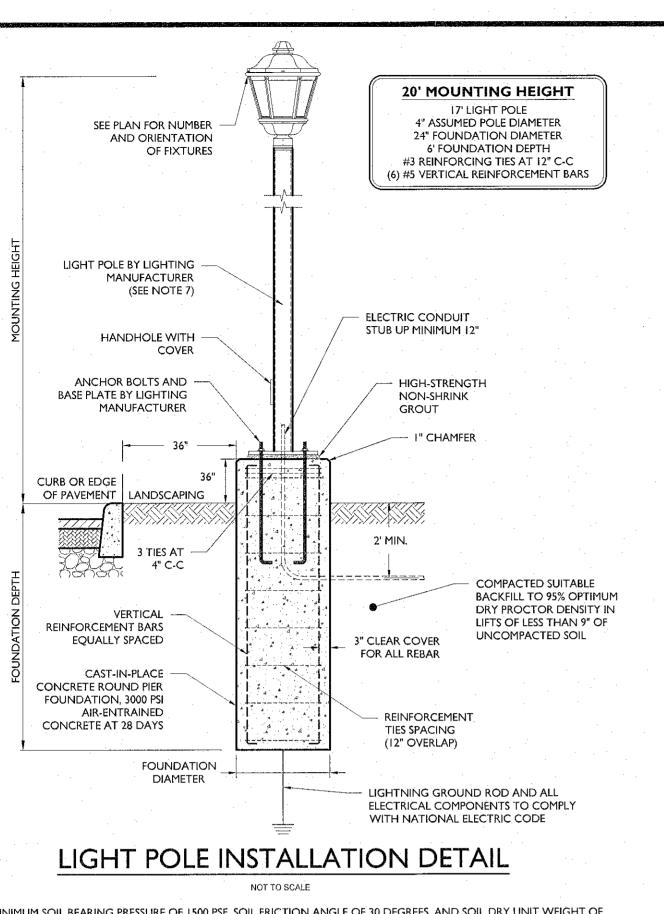


SCALE: AS SHOWN PROJECT ID: T-19059

LANDSCAPING DETAILS







I. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF

120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 ALL REBAR TO BE NEW GRADE 60 STEEL.

PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.

5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX

REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.

6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN I" TOLERANCE).

7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED

ON ANSI/ASCE 7-93. 8. POUR TO BE TERMINATED AT A FORM.

9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.

10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

NOT APPROVED FOR CONSTRUCTION

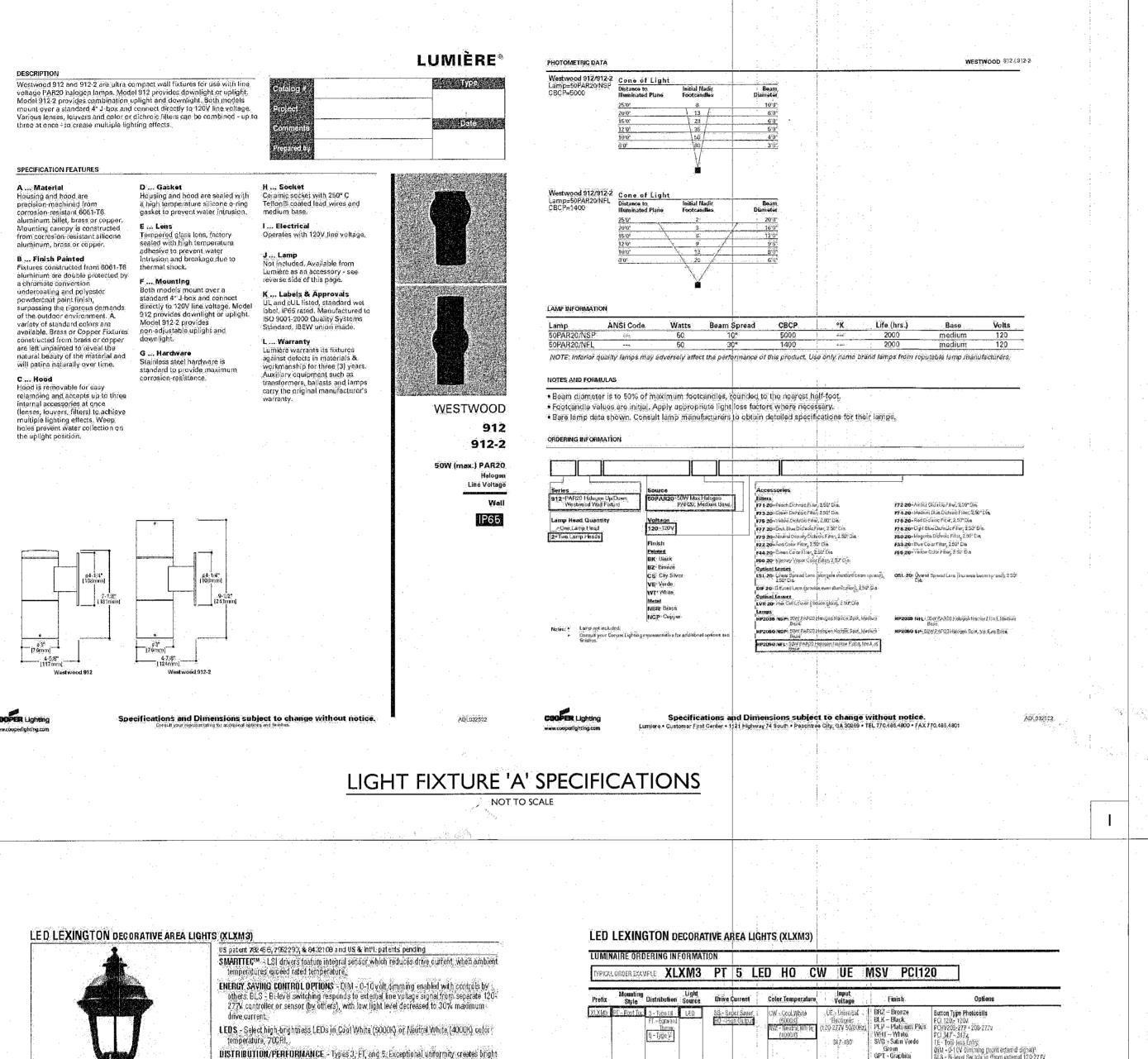
21 & 25 GROVE ASSOCIATES, LL PROPOSED RESIDENTIAL DEVELOPMENT

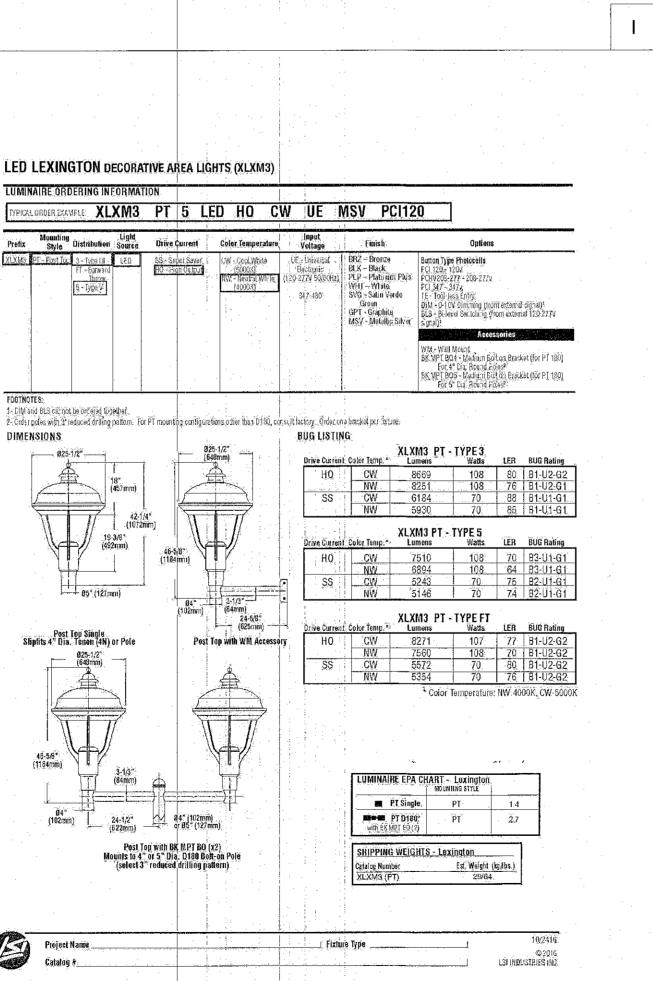
MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE NO. 48731 LICENSED PROFESSIONAL ENGINEER

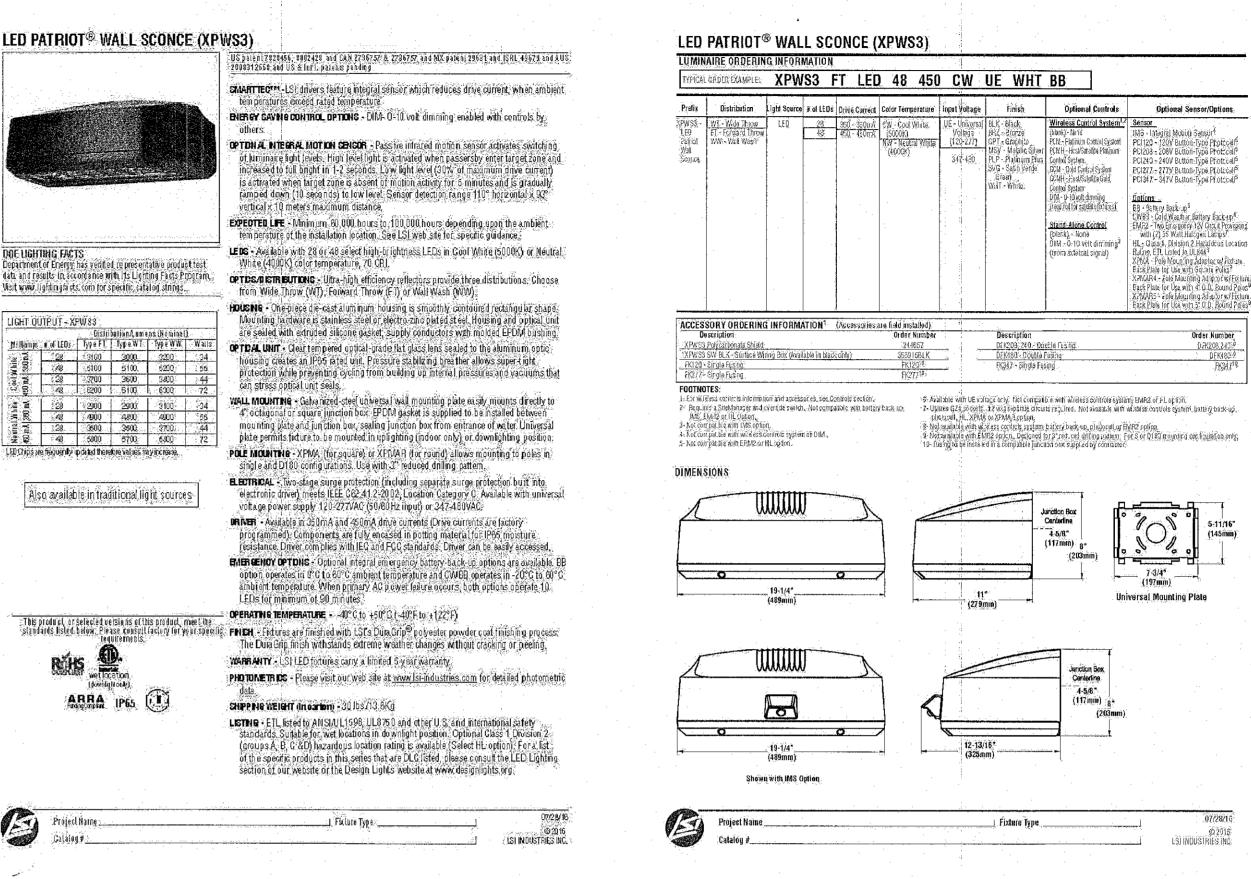
STONEFIELD engineering & design

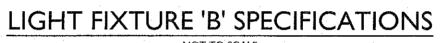
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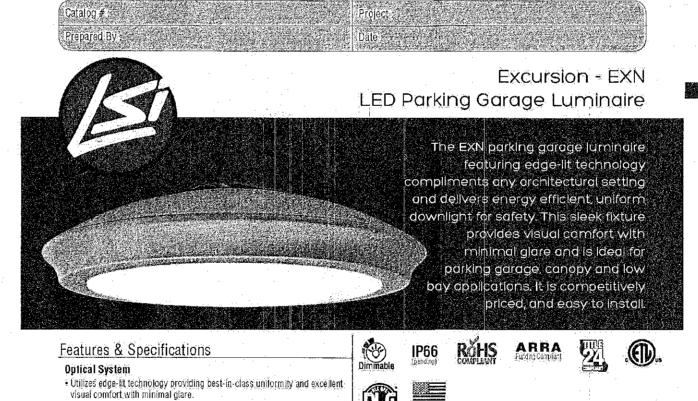
CONSTRUCTION **DETAILS**











 Optically clear acrylic light guide with tailored refractive distribution. Best in class high brightness LED's provide uniform light guide luminance with no dead spots. Choice of two high performance distributions: Type 5 Wide and Type 5 Narrow (a concentrated distribution for atrium and exit/egress applications) Available in 5000K and 4000K color temperatures per ANSI C78.377. 3000K & 2700K color temperatures available by request, consult factory for lead time and DLC qualification information. . Minimum CRI of 70, 90 CRI available by request, consult factory for lead time and DLC qualification information. . High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection. • 0-10 volt dimming (10% - 100%) standard. • Standard Universal Voltage (120-277 Vac) (nput 50/60 Hz. Optional High Voltage 347/480Vac Input available. L70 Calculated Life: > 100k Hours (See Lumen Maintenance Chart)

 Total harmonic distortion; <20% Operating temperature: -40°C to +50°C (-40°F to +122°F) Power factor, > 90 · Input power stays constant over life. · High-efficacy LEDs with integrated circuit board mount directly to the housing to maximize heat dissipation and promote long life. Driver components are fully encased in potting material for moisture.

resistance. Driver complies with FCC standards • Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). Optional 120v-277v integral emergency battery pack is available to meet critical life safety lighting requirements. The 90-minute batteries provide constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance, Battery Backup not available on 10L and 11L lumen packages, List Industries inc. 1999 Alliance Rd. Cincinright, Ch. 45212 - www.list.industries.com - (513) 372-3203 - 9List Industries Inc. All Manus Reserved.

Excursion - EXN LED Parking Garage Luminaire

Order Number

D7K208[2432

NOT APPROVED FOR CONSTRUCTION

Features & Specifications (Cont.)	Perform	nance					
	DELIVERE	D LUMENS	•				
Construction	4000K			. 51	500 0K		
 Precision die-cast aluminum housing and lens frame for durability and consistency: 	Lumen Level	Optic	Delivered Lumens	Efficacy	Delivered	Éfficacy	Avg. Watts
 Architecturally pleasing with no visible electronics, hardware, or seams from ground level. 	5L	T5NL	5238 ±	33,118 ¥	5187 5520	117.0	- CA358
Hinged 16ga Galvanized mounting bracket provided for ease of installation and maintenance:	6J.	TōW T5N	6412 6824	118 125	6350 6758	1.(7 124	54.4
 P66 rated luminaire (pending) protects integral components from harsh environments. 	8L	T5W	8009 8524	113	7931 // 8/41 /	112	70.6
· Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.	4.01	T5W	9536	109	9390	107	-
• Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing	10L	Tan	10149	116	9994	114	87.5
process. The OuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available, Consult factory.	111	/> T5W. /* 15N ≫	11111,4 11825	%€106% ≟∗112 c	10941 × 11644		
3G rated for ANSI C136.31 high vibration applications.			27	00K	3	000K	T
Shipping weight: 13.5 lbs in carton:	Lumen Level	Optic	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Avg. Watis
Controls	The state of the	T5W	4866	109	4955	*111	Sign (soline)
Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels (see page 4 for more details).	014	T5W	5179 18 5957	- 116 a	5274 6066	√2119 ± 112	
• LSI's AirLink wireless control system options reduce energy and	6L	15N.	6340	117	6456	119	54.4
maintenance costs while optimizing light quality 24/7. (see page 5 for more details)	3L	3T5W	7440 7918 38	105 A	7577 8063	107 114	- /0.6
Installation	10L	T5W [5N	8859 9428	101 108	9021 9601	193 110	87.5
 Standard mounting is a rigid 3/4" pendant mount or direct surface mount to a 4" (102mm) octagon box (box by others). 	111	T5W		98.4		#4.190 dr	1 6 2 1 115
Warranty	¹LĘŲ Chips a	re frequently	updated there	forg values	аге дотіпац.		
LSI LED Fixtures carry a 5-year warranty.	ELECTRIC	AL DATA*				··	
1 Year warranty on optional Battery Back Up, Test regularly in accordance with local codes.	Luinen	Watts	120V 2	06V .2	10V 277V	347V	480V
I fallana		KI5W S	0.38 2 30	22 0	.19.5 / 0.16	E 20.13.	0.09
Listings		T5N			19 0.16	0.13	0.09
• Listed to ETL.	61	- 4P 19 34 -14.94 - 2			23 0.20	the property of the property and	数0.1包
RoHS Compliant.	47.457.23	TbN			23 0.20	0.16	0:11
State of California Title 24.	8L 8L		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4734000 1000	30 0 26	3 0.20 5	0.15
· American Recovery and Beinvestment Act Funding Compliant.	1000	20 C C C C C C C C C C C C C C C C C C C	The state of the s		39 1.026		0.15
Lighting Facts Approved	10L-1	To be seen the state of	135 , 145 , 1 may 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	7.00	370 0,32	The budgets ordered to	20.18
Suitable For wet Locations:	25.10to 4500	本J5N 生 含T5W		APE AP OLOGO	37		0,18 6 0.22
IP66 rated Luminaire (pending),	111	7 7 7 7 7 7 7 7	0.88,		44 25 9 38	and the second	5 U.ZZ
3G rated for ANSI C136.31 high vibration applications.	Electrical da	100,000; -000,000		371.21-6-17	#### ## 2.30 ffer by +/-10%	-44 LO-51.45 - 5/4-5	Suzz.
Design Lights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products. Let at which designified is consorted by the product of the DLC qualified Products.	RECOMMI	ENDED LUN	EN MAINTE	NANCE!			

CONSTRUCTION DETAILS

LIGHT FIXTURE 'E' SPECIFICATIONS

limensions subject to

change without notice.

List at www.designlights.org/QPL to confirm which versions are qualified

LETingustries inc. 16000 Alliance Rd. Cincinnat OH. 15282 - www.list-industries.com - (513) 372-3200 - SLETingustries inc. All Rights Reserved.

GROVE E ΩΣ MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER STONEFIELD 0 hrs. 2 25K hrs. 2 50K hrs. 2 75K hrs. 2 100K hrs. 2 engineering & design SCALE: AS SHOWN PROJECT ID: T-19059 - Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in; situ fuminaire testing. - In accordance with IESNA TM-21-11, Projected Values represent interpolated value based. on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip). DRAWING: C-14

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LIGHT FIXTURE 'C' & 'D' SPECIFICATIONS

102416 102016

DIMENSIONS

environment at lower light levels, improved backlight cutoff minimizes light trespass.

HOUSING - One piece housing/support frame is dia-cast aluminum. Post top access cover

and support arms are die-cast aluminum. Housing is sealed with an extruded silicone

HOUSING TOP CAP - Removable soun aluminum cap/driver enclosure is retained by captive

stainless steel fasteners and safety cables. Housing and top cap interface is seeled with a dig piece extruded alloone gasket. Tool-less entry option is available.

cycling from building up internal pressures and vacuums that can stress optical unit seals and

FASTENERS - All exposed fasteners are black pxide coated stainless steel. Internal fasteners

stage surge protection (including separate surge protection built into electronic driver) meets IEEE C8241.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input) 347VAC and 480VAC. Optional button-type photocells

(PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified);

DRIVER - Available in Super Saver (SS) and High Output (HO) drive currents (Drive currents

are factory programmed). State-of-the-art driver technology designed specifically for LSI.

ED light sources provides unsurpassed system efficiency. Components are fully encased

potting material for moisture resistance. Driver complies with IEC and FCC standards.

MOUNTING - Post Top and Wall mounting available . Pole selection information shown.

FINISH - Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The Dura Grip tinish with stands extreme weather changes without cracking or peeling.

This product, or selected versions of this product, meet the standards listed below. Please consult factory

RATES AR PA
ESSELLED Vet location Finding Ownlind

Ekt. Are couply with MISI C100 31: 2010 American National Street/date Resource Lighting Engineers; Lumpaire With short I Street/date Resource Lighting Engineers; Lumpaire Lighting Engineers; Lighting Enginee

PHOTOMETRICS : Please visit our web site at www.lsi-industries.com for detailed

LISTING : Listed to U.S. and Canadian safety standards, Suitable for wet locations

OPERATING TEMPERATURE = 40°C to ±50°C (440°F to ±122°F);

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

ELECTRICAL - Terminal block for attachment of incoming primary wiring is supplied. Two

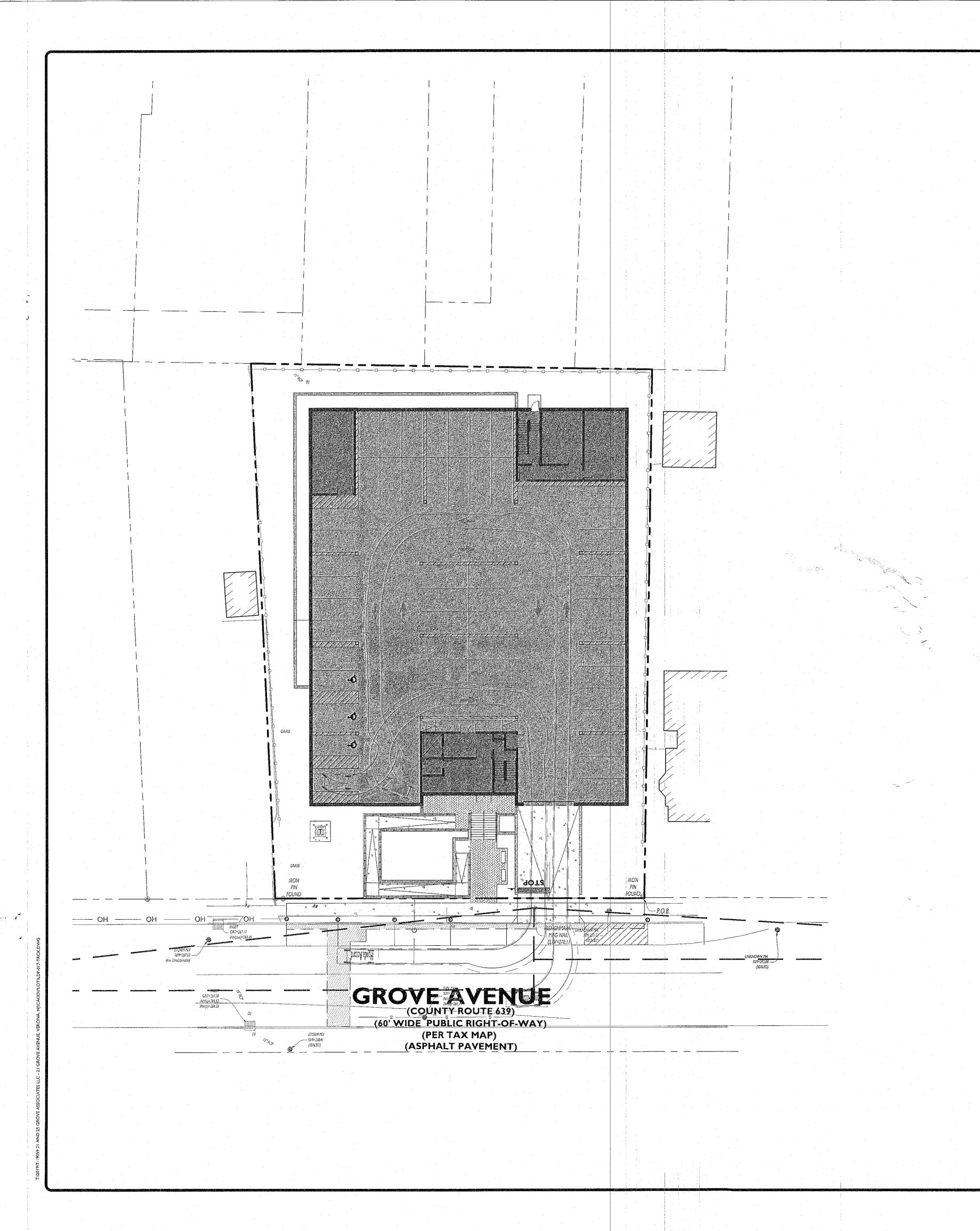
SEALED OPTICAL UNIT - Lens is clear, flat tempered glass, seeled to aluminum optics housing

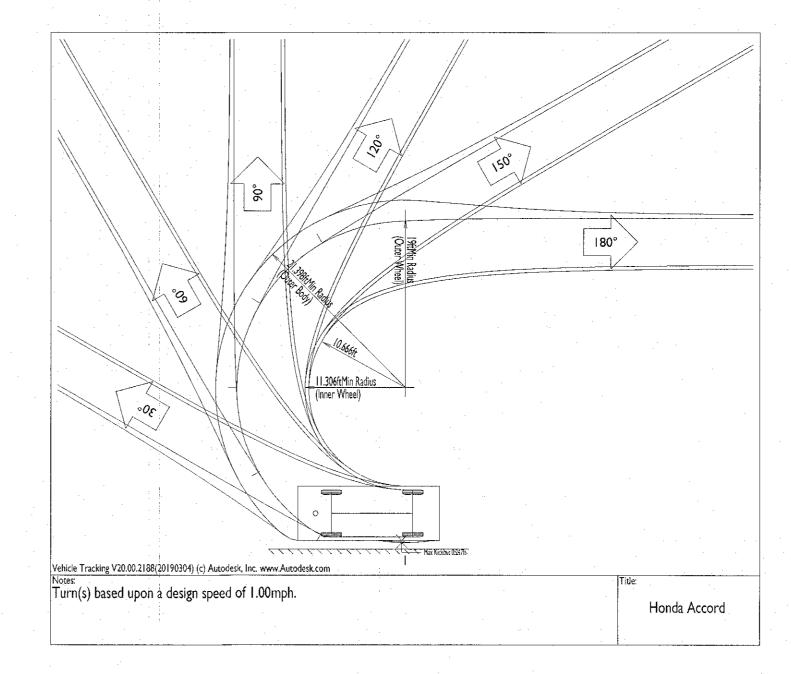
Pressure stabilizing breather allows super-right protection white preventing temperature

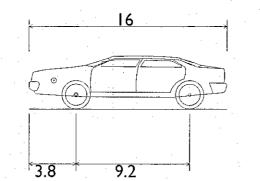
are stamless steel or zinc electroplated steel.

under fixture drawings.

Also available in traditional light sources







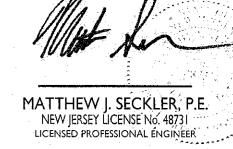
Honda Accord
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius

16.000ft 6.100ft 4.300ft 0.984ft 5.280ft 2.30s 19.000ft

GRAPHIC SCALE IN FEET I" = 20'

21 & 25 GROVE ASSOCIATES, LLC.

NOT APPROVED FOR CONSTRUCTION





I" = 20' PROJECT ID: T-19059

TRUCK TURNING (HONDA ACCORD)