

SOURCE: UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAPS, VERONA, NEW JERSEY - NEW YORK, 7.5 MINUTE SERIES, 2016.

LOCATION MAP

SCALE: 1" = 1,000±



SOURCE: GOOGLE EARTH PRO, IMAGE DATED 05/23/2018

AERIAL MAP

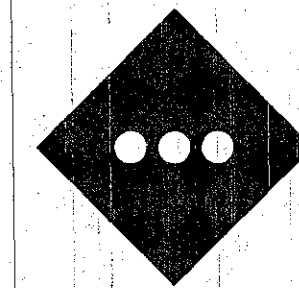
SCALE: 1" = 200'±

| ZONING RELIEF TABLE | | | |
|---------------------|-------------------|--|------------------------|
| RELIEF TYPE | CODE SECTION | REQUIRED | PROPOSED |
| VARIANCE | §150-17.11 (A) | RESIDENTIAL USES NOT PERMITTED | 3-STORY RESIDENTIAL |
| VARIANCE | §150-17.11 (D) | MIN. SIDE SETBACK (ONE): 15 FT | 6.7 FT |
| VARIANCE | §150-17.11 (D) | MIN. SIDE SETBACK (BOTH): 35 FT | 21.7 FT |
| VARIANCE | §150-17.11 (D) | MIN. REAR SETBACK: 50 FT | 15.0 FT |
| VARIANCE | §150-17.11 (D) | MAX. BUILDING HEIGHT: 2.5 STORIES / 35 FT | 3 STORIES / 44.58 FT |
| VARIANCE | §150-17.11 (D) | MAX. LOT COVERAGE: 30% (9,363 SF) | 61.5% (19,200 SF) |
| VARIANCE | §150-17.11 (D) | MAX. IMPROVED LOT COVERAGE: 65% (20,285 SF) | 69.7% (21,741 SF) |
| VARIANCE | §150-17.11 (D) | MAX. FLOOR AREA RATIO: 50% (15,598 SF) | 134.5% (41,961 SF) |
| VARIANCE | § 150-12.1 (B)(2) | MIN. NUMBER OF REQUIRED PARKING SPACES MAY NOT BE MET OR SATISFIED BY PARKING SPACES LOCATED WITHIN OR UNDERNEATH A PRINCIPAL BUILDING | PARKING UNDER BUILDING |
| VARIANCE | § 150-12.2 (A) | MIN. PARKING SPACE DIMENSIONS: 9 FT X 20 FT | 8.5 FT X 18.0 FT |
| VARIANCE | § 150-12.8 (C)(3) | MINIMUM DRIVE AISLE WIDTH FOR 90° PARKING: 24 FEET | 23.0 FT |
| VARIANCE | § 150-17.12 (A) | MAXIMUM RETAINING WALL HEIGHT EQUAL TO 4 FT IN FRONT YARD AND 6 FT ELSEWHERE | FRONT YARD: 11.1 FT |



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PRELIMINARY & FINAL MAJOR SITE PLAN FOR 21 & 25 GROVE ASSOCIATES, LLC PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (COUNTY ROUTE 639)
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

TOWNSHIP OF VERONA SIGNATURE BLOCK

APPROVED BY THE
ENGINEER OF THE TOWNSHIP OF VERONA

ATTESTED TO BY:

TOWNSHIP OF VERONA SIGNATURE BLOCK

APPROVED BY THE TOWNSHIP OF VERONA
LAND USE BOARD:

LAND USE BOARD CHAIRPERSON

LAND USE BOARD SECRETARY



SOURCE: TOWNSHIP OF VERONA TAX MAP, SHEETS 6, 16, 17 & 18. TOWNSHIP OF VERONA ZONING MAP, DATED 11/27/2015.

TAX & ZONING MAP

SCALE: 1" = 200'±

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING, DATED 03/04/2019.
 - ARCHITECTURAL PLANS PREPARED BY BILOW GARRETT GROUP ARCHITECTS AND PLANNERS, PC, DATED JUNE 25, 2021.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, IMAGERY DATED 05/23/2018.
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 - TAX MAP OBTAINED FROM THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY, DATED 11/27/2015.
 - ZONING MAP OBTAINED FROM THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY, DATED 07/11/2011.
 - SITE PLAN PREPARED FOR DECAMP COMMONS PREPARED BY MCCLIMSEY - PETRY, P.C., DATED 04/24/1998.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

| SHEET INDEX | |
|--------------------------------------|-------------|
| DRAWING TITLE | SHEET # |
| COVER SHEET | C-1 |
| EXISTING CONDITIONS PLAN | C-2 |
| DEMOLITION PLAN | C-3 |
| SITE PLAN | C-4 |
| GRADING & DRAINAGE PLAN | C-5 |
| UTILITY PLAN | C-6 |
| LIGHTING PLAN | C-7 |
| SOIL EROSION & SEDIMENT CONTROL PLAN | C-8 |
| LANDSCAPING PLAN | C-9 & C-10 |
| CONSTRUCTION DETAILS | C-11 - C-14 |
| TRUCK TURNING | C-15 |

APPLICANT

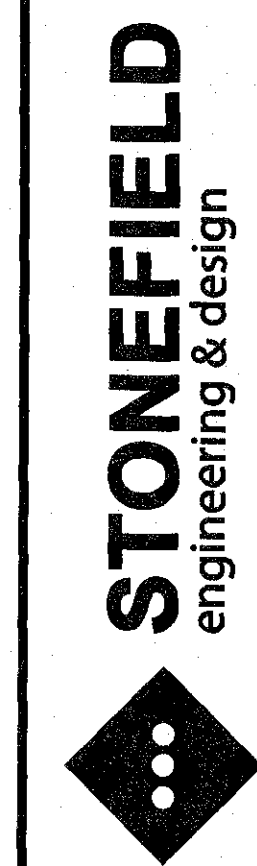
21 & 25 GROVE ASSOCIATES LLC
250 MOONACHIE ROAD, SUITE 302
BOROUGH OF MOONACHIE, NEW JERSEY, 07074
PHONE NUMBER
EMAIL ADDRESS

OWNER

GROVE REAL ESTATE, LLC
21 GROVE AVENUE
TOWNSHIP OF VERONA, NEW JERSEY, 07044

ATTORNEY

JASON R. TUVEL, ESQ.
PRIME LAW
2 UNIVERSITY PLAZA, SUITE 109
HACKENSACK, NJ 07601



PRELIMINARY AND FINAL SITE PLAN
21 & 25 GROVE ASSOCIATES, LLC.
PROPOSED RESIDENTIAL
DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE NO. 4873
LICENSED PROFESSIONAL ENGINEER



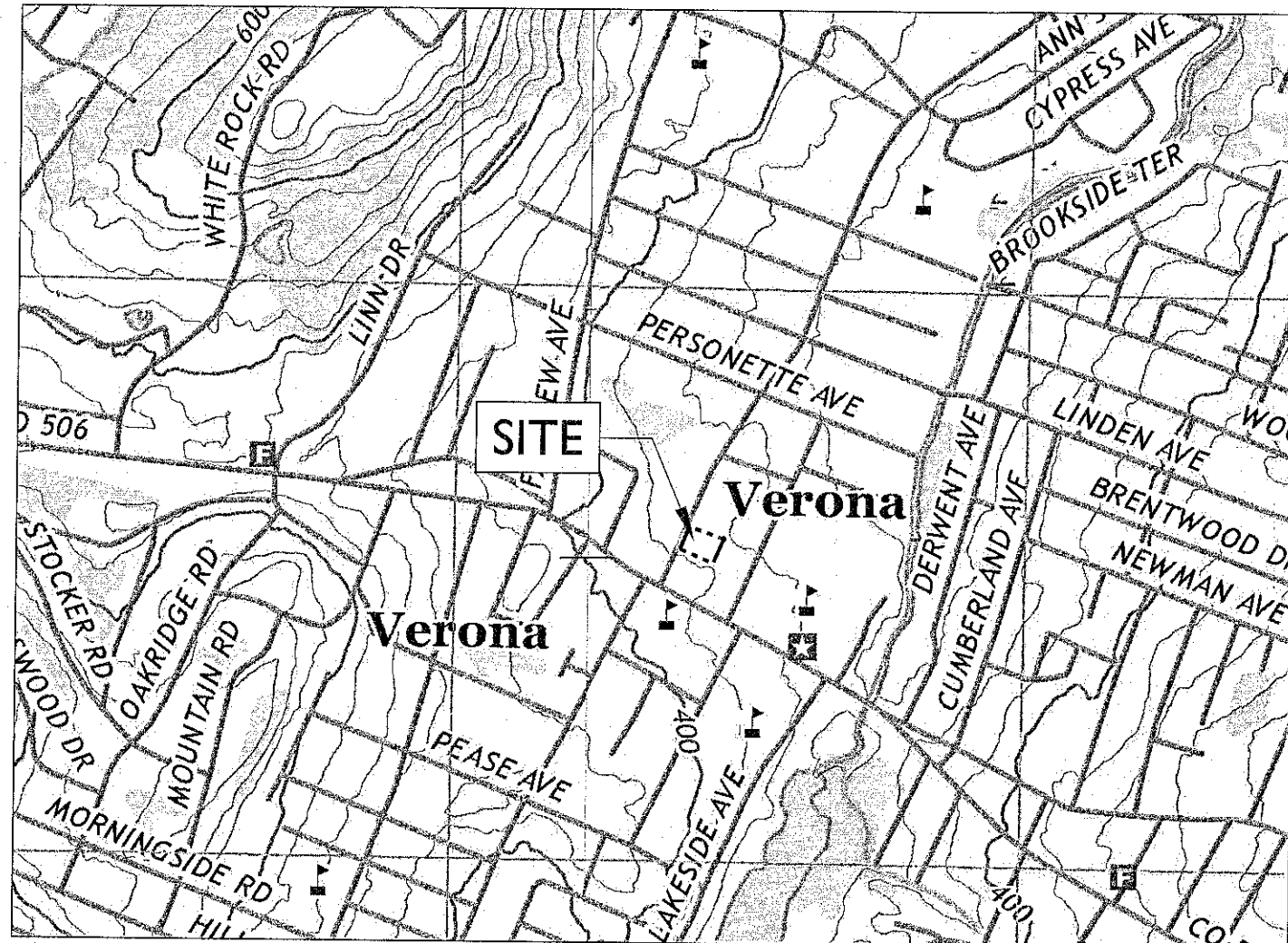
SCALE: AS SHOWN PROJECT ID: T-19059

TITLE:

COVER SHEET

DRAWING:

C-1



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LOCATION MAP

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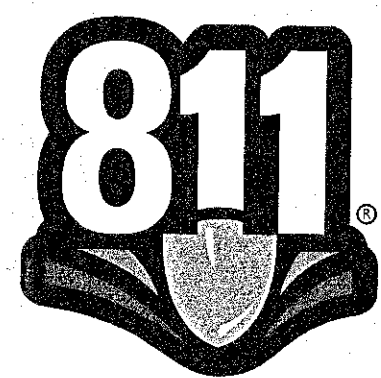


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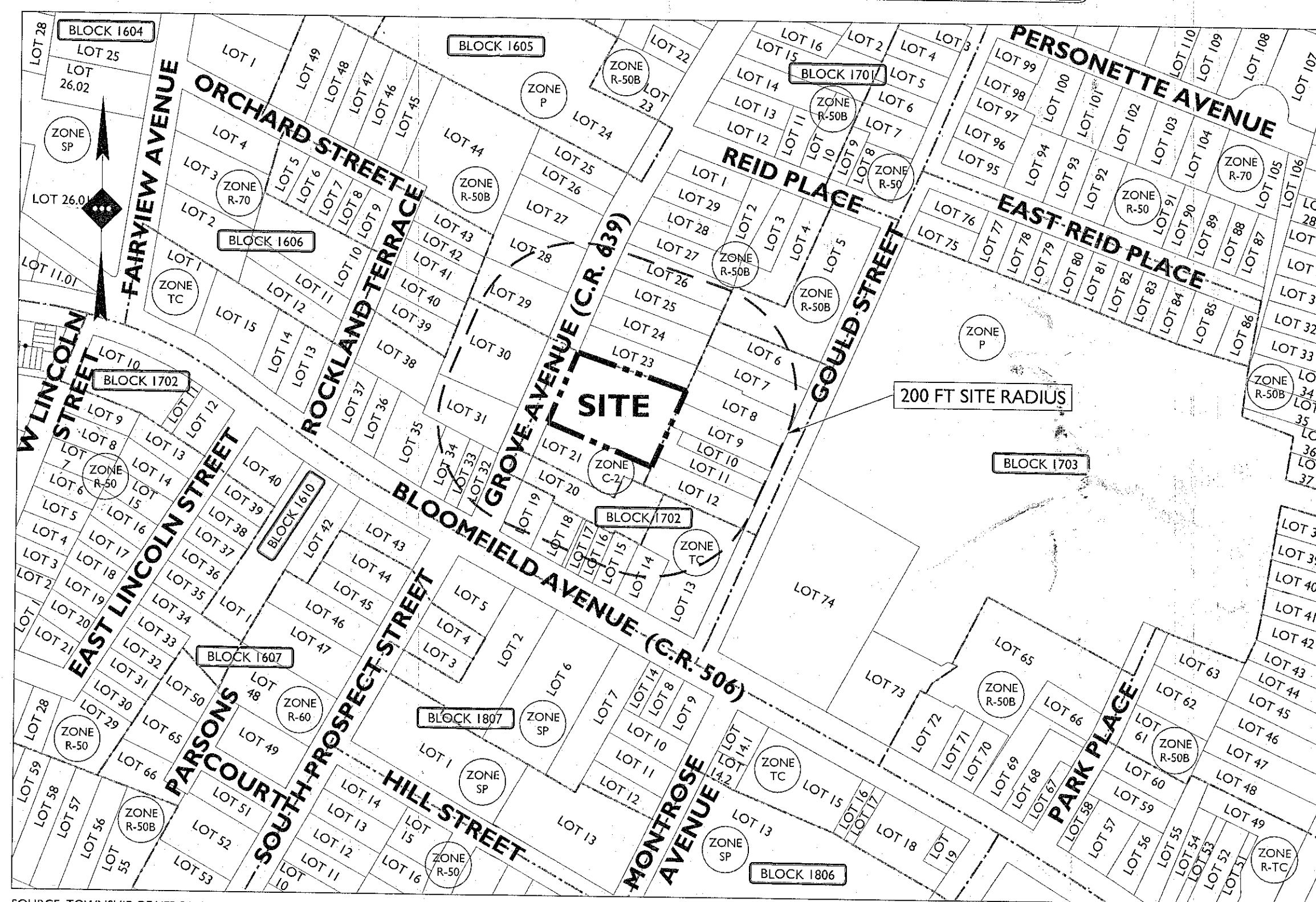
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TAX & ZONING MAP

SCALE: 1" = 200'±

PLANS PREPARED BY:



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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

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APPLICANT

21 & 25 GROVE ASSOCIATES LLC
350 MOONACHIE ROAD, SUITE 302
BOROUGH OF MOONACHIE, NEW JERSEY, 07074
PHONE NUMBER
EMAIL ADDRESS

OWNER

GROVE REAL ESTATE, LLC
21 GROVE AVENUE
TOWNSHIP OF VERONA, NEW JERSEY, 07044

ATTORNEY

JASON R. TUEL, ESQ.
PRIME LAW
2 UNIVERSITY PLAZA, SUITE 109
HACKENSACK, NJ 07601

TOWNSHIP OF VERONA SIGNATURE BLOCK

APPROVED BY THE
ENGINEER OF THE TOWNSHIP OF VERONA

ATTESTED TO BY:

TOWNSHIP OF VERONA SIGNATURE BLOCK

APPROVED BY THE TOWNSHIP OF VERONA
LAND USE BOARD:

LAND USE BOARD CHAIRPERSON

LAND USE BOARD SECRETARY

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ESSEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE No. 48721
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: T-1959

TITLE:

COVER SHEET

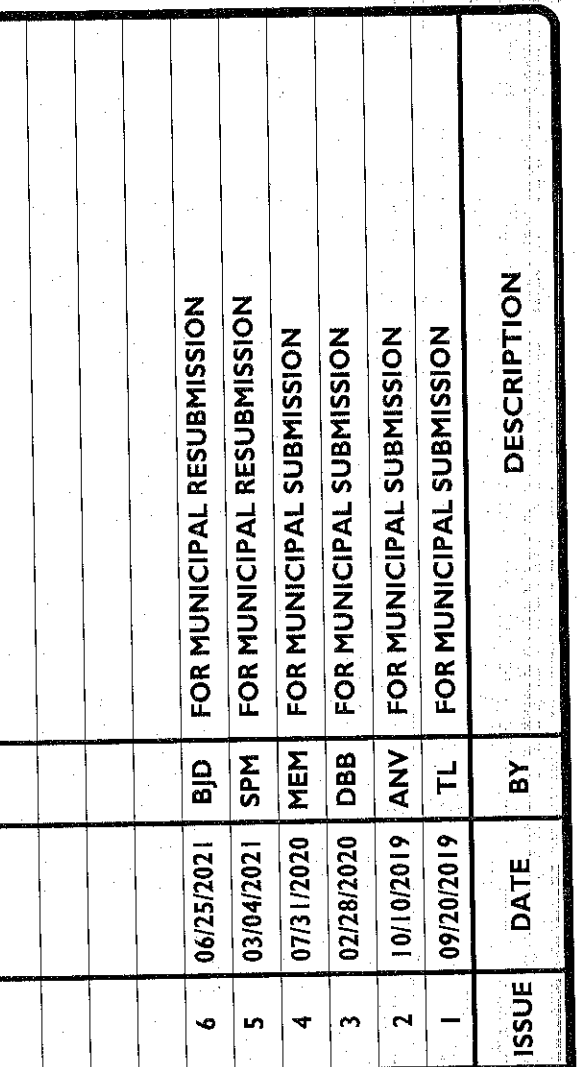
DRAWING:

C-1



- ## REFERENCES

1. MAP ENTITLED TOPOGRAPHIC SURVEY, PROPERTY OF TOWNSHIP OF VERONA LOT 22 BLOCK 91, ESSEX COUNTY, NEW JERSEY PREPARED BY MCCUMSEY ASSOCIATES, VERONA, NEW JERSEY DATED 6/20/09 (LOT 22).
2. DEED BETWEEN TOWNSHIP OF VERONA (GRANTOR) AND GROVE REAL ESTATE, LLC (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, AS DEED BOOK 5516 PAGE 803 (LOT 22).
3. MAP OF PROPERTY SITUATED IN TOWNSHIP OF VERONA, ESSEX COUNTY, N.J., PREPARED BY RICHARD J. HINDS, INC. AND PRAIRIE FOR STUMPY ACRE, 20070328 BY ZACHARY J. WILDER-DREHER, DATED APRIL 28, 2014 (LOT 23).
4. DEED BETWEEN ELIZABETH A. SCRIFIGNANO (GRANTOR) AND ANTHONY P. SCRIFIGNANO (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, AS DEED 5490 (LOT 23).
5. DEED BETWEEN CARLO BIONDI & CHRISTINE SHAW (GRANTOR) AND ANDRE BOVE-GOULD, LLC (GRANTEE) RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, INSTR. # 2010656048 (LOT 23).
6. DEED BETWEEN CHARMON C. COLE AND JEAN SOMERS (GRANTOR) AND MATTHEW M. SEIFERT (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE (LOT 24).
7. DEED BETWEEN STEPHEN R. OLSEN (GRANTOR) AND MOD ELAHRACHE (GRANTEE) RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, AS INSTR. # 2010104347 (LOT 11).
8. DEED BETWEEN BRIAN COLE AND KLERSTEN (GRANTOR) AND DANA A. SHAW (GRANTEE), RECORDED IN THE ESSEX COUNTY REGISTERS OFFICE, DEED BOOK 6116 PAGE 810 (LOT 12).



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PRELIMINARY AND FINAL SITE PLAN

21 & 25 GROVE ASSOCIATES, LLC.

PROPOSED RESIDENTIAL DEVELOPMENT

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ESSEX COUNTY, NEW JERSEY


MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE No. 48731
LICENSED PROFESSIONAL ENGINEER



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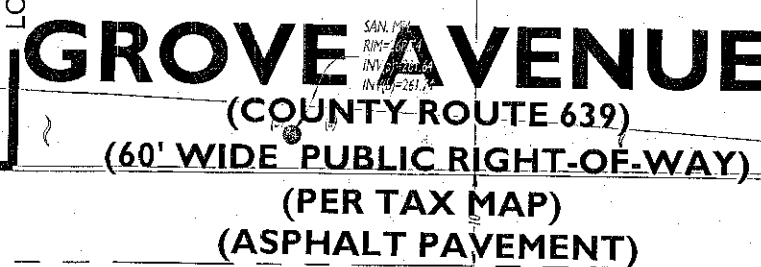
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| SCALE: | 1" = 20' | PROJECT ID: T-19059 |
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TITLE: _____

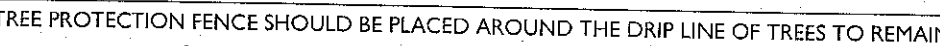
**EXISTING CONDITIONS
PLAN**

DRAWING:

C-2



(*) BASED ON PHOTO REVIEW OF EXISTING TREE



ALL TREE REMOVAL SHALL BE UNDER
CERTIFICATION OF FROM A CERTIFIED
TREE EXPERT

BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. THE FENCING SHALL BE INSTALLED TO THE DRILLPIKE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE ZONE OF INTEREST. THE FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION FENCING, SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. PROVIDED "TREE PROTECTION FENCE DETAIL": NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

THE FENCING TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES OF TREES SHALL BE INSTALLED TO PROTECT ALL MATERIALS SUCH AS: NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. PRECAUTIONARY MEASURES CONTRACTORS SHALL USE ANY AND ALL APPROPRIATE PRECAUTIONS TO PROTECT EXISTING TREES, PLANTS, TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. CONTRACTORS SHALL BE RESPONSIBLE FOR ANY DAMAGE TO GRADING, OR ANY OTHER FEATURES, WHICH MAY OCCUR WHILE THE FENCING IS REQUIRED WITHIN THE DRILLPIKE OF TREES TO REMAIN. THE WORK SHALL BE PERFORMED AS FOLLOWS:

1. GRADING - WHEN GRADING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TREE SHALL BE SHIELDED UNDER AND AROUND THE ROOTS BY TREES. ANY EXISTING ADJACENT SURFACES WITHOUT INJURY TO THE ROOTS, NO TREES, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.

2. RAISING GRADES - WHEN THE GRADE AT AN EXISTING TREE IS BEING RAISED, NEW FINISHED GRADE SHALL BE MAINTAINED AT LEAST 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK AND FINISHED GRADE SHALL BE EXTENDED OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM THE TRUNK ON ALL SIDES (2') ABOVE THE FINISH GRADE. APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT THE TREE TRUNK, GRAVEL SHALL BE PLACED. BEFORE ANY EARTH FILL IS PLACED, NEW FINISHED GRADE SHALL BE MAINTAINED AT LEAST 6 INCHES (6") ABOVE ANY TREE ROOTING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF EXISTING TREE WELL, TREE WELL SHALL BE MAINTAINED IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL".

3. LOWERING GRADES - EXISTING TREES LOCATED IN AREAS WHERE LOWERING GRADE IS WISHED, SHALL BE MAINTAINED. LOWERING RE-GRADING WORK DONE BY HAND OR POWERED, SHALL HAVE A MINIMUM OF THREE INCHES (3") BELOW FINISHED GRADE UNDER THE TREE TRUNK. WHERE LOWERING GRADE IS REQUIRED, APPROXIMATELY 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE INSTALLED TO RETAIN THE GRADE. THE RETAINING WALL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL".

FEATURE TO BE REMOVED / DEMOLISHED

LIMIT OF DISTURBANCE



Know what's **below**
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3. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED/AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS, PLANS, AND ASSOCIATED PERMITS/REFERENCE DOCUMENTS, INCLUDING BUT NOT LIMITED TO, ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE DEMOLITION.
4. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
5. EXPLOSIVES SHALL NOT BE USED UNLESS EXPRESSLY CONSENTED FROM THE CITY OF SEATTLE. ANY EXPLOSIVES TO BE USED MUST BE OBTAINED, BEFORE THE START OF ANY DEMOLITION WORK. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
6. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SEATTLE, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXISTING AND REMOVED STRUCTURES TO BE DEMOLISHED OR REMOVED TANKS SHALL BE BACKFILLED WITH CONCRETE OR OTHER REMOVED TANKS SHALL BE BACKFILLED WITH CONCRETE OR OTHER MATERIALS AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILL ACTIVITIES TO INSURE THE PROPER BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
7. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLISHED DEBRIS FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CITY OF SEATTLE'S FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE CITY OF SEATTLE'S REQUIREMENTS.
8. DISEASED TREES ON SITE IT MUST BE PROPERLY REMOVED IN A TIMELY MANNER UNDER THE SUPERVISION OF A CERTIFIED TREE EXPERT.

**PROPOSED RESIDENTIAL
DEVELOPMENT**

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

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| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|----------------------------|
| 1 | 09/20/2019 | TL | FOR MUNICIPAL SUBMISSION |
| 2 | 10/10/2019 | ANV | FOR MUNICIPAL SUBMISSION |
| 3 | 02/28/2020 | DBB | FOR MUNICIPAL SUBMISSION |
| 4 | 07/31/2020 | MEM | FOR MUNICIPAL SUBMISSION |
| 5 | 03/04/2021 | SPM | FOR MUNICIPAL RESUBMISSION |
| 6 | 06/25/2021 | BJD | FOR MUNICIPAL RESUBMISSION |

NOT APPROVED FOR CONSTRUCTION

STONEFIELD

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Princeton, NJ • Tampa, FL • Detroit, MI
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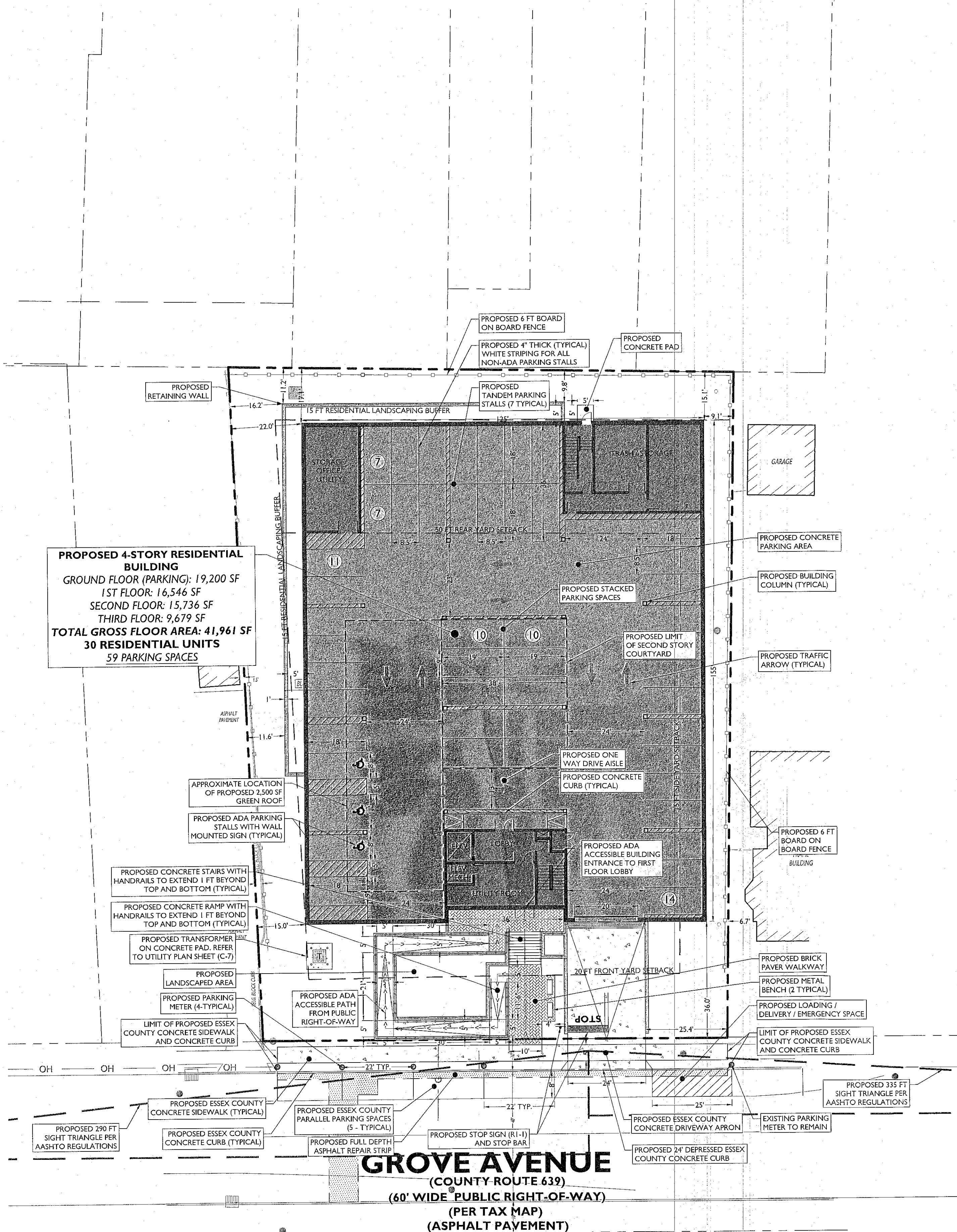
| | | |
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| SCALE: | 1" = 20' | PROJECT ID: T-19059 |
|--------|----------|---------------------|

TITLE: TREE REMOVAL AND DEMOLITION PLAN

DRAWING:

C-3

21 & 25 GROVE ASSOCIATES, LLC - 21 GROVE AVENUE, VIRGINIA, NC 28687-1001 (P) 704-251-1111



GROVE AVENUE
(COUNTY ROUTE 639)
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

TABLE OF LAND USE AND ZONING

BLOCK 1702, LOT 22

PROFESSIONAL OFFICE AND BUSINESS (C-2)

| PROPOSED USE | THREE-STORY RESIDENTIAL | NON-PERMITTED (V) | EXISTING | PROPOSED |
|---|-------------------------|-------------------|--|--|
| ZONING REQUIREMENT | REQUIRED | | | |
| MINIMUM LOT SIZE | 15,000 SF (0.34 AC) | | 31,197 SF (0.72 AC) | 31,197 SF (0.72 AC) |
| MINIMUM LOT WIDTH | 100 FT | | 144.3 FT | 144.3 FT |
| MINIMUM FRONT YARD SETBACK | 20 FT | | 30.1 FT | 36.0 FT |
| MINIMUM SIDE YARD SETBACK (ONE) | 15 FT | | 12.8 FT | 6.7 FT (V) |
| MINIMUM SIDE YARD SETBACK (BOTH) | 35 FT | | 62.4 FT | 21.7 FT (V) |
| MINIMUM REAR YARD SETBACK | 50 FT | | 102.7 FT | 15.0 FT (V) |
| MAXIMUM BUILDING HEIGHT (') | 2.5 STORIES / 35 FT | | 2-STORIES | 3-STORIES / 44.58 FT (EN) (V) |
| MAXIMUM LOT COVERAGE | 30% (9,359.1 SF) | | 10.6% (3,294.9 SF) | 61.5% (19,200 SF) (V) |
| MAXIMUM IMPROVED LOT COVERAGE | 65% (20,278.1 SF) | | 70.2% (21,908 SF) (EN) | 69.7% (21,741 SF) (V) |
| MAXIMUM FLOOR AREA RATIO | 50% (15,598 SF) | | - | 134.5% (41,961 SF) (V) |
| MINIMUM LANDSCAPING BUFFER ALONG RESIDENTIAL ZONE | 15 FT | | REAR YARD: 8.5 FT (EN) SIDE YARD: 9.1 FT (EN) | REAR YARD: 15.1 FT SIDE YARD: 15.0 FT |

(V) VARIANCE
(EN) EXISTING NON-CONFORMITY
(*) BUILDING HEIGHT DEFINITION: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE GROUND ELEVATION (265.42 FT) OF THE EXISTING NATURAL GRADE AT THE BUILDING LINE AROUND THE FULL PERIMETER OF THE BUILDING, TO THE BUILDING'S HIGHEST POINT.
(**) BASED OFF THE PREVIOUSLY PROPOSED PLAN SUBMITTED 02/28/2020, THE BUILDING HEIGHT WAS CALCULATED FROM THE PROPOSED AVERAGE GROUND ELEVATION OF 264.49 FT. THE CURRENT PROPOSED BUILDING HEIGHT BASED ON THE PREVIOUS CALCULATION OF THE AVERAGE GRADE OF 264.49 FT WOULD RESULT IN A BUILDING HEIGHT OF 45.51 FT.

OFF-STREET PARKING REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|--|----------------------------|
| § 150-12.1 (B)(2) MINIMUM NUMBER OF SPACES | THE MINIMUM NUMBER OF REQUIRED PARKING SPACES MAY NOT BE MET OR SATISFIED BY PARKING SPACES LOCATED WITHIN OR UNDERNEATH A PRINCIPAL BUILDING. | PARKING UNDER BUILDING (V) |
| § 150-12.2 (A) SIZE OF PARKING SPACES | MINIMUM PARKING SPACE DIMENSIONS: 9 FT X 20 FT | 8.5 FT X 18 FT (V) |
| § 150-12.3 (B) ACCESS | NO DRIVEWAY OR ACCESS OR EGRESS FROM A PARKING AREA SHALL BE LOCATED CLOSER THAN 50 FEET FROM ANY INTERSECTION OR AS REQUIRED BY COUNTY OR STATE REGULATIONS. | COMPLIES |
| § 150-12.3 (C) ACCESS | ALL DRIVEWAYS SHALL CROSS SIDEWALK AREAS AT SIDEWALK GRADE. | COMPLIES |
| § 150-12.3 (D) ACCESS | MINIMUM DRIVEWAY SETBACK FROM ADJACENT PROPERTY LINE: 1 FT | 25.4 FT |
| § 150-12.4 (A)(1) ACCESS WIDTH | DRIVEWAY WIDTH: MINIMUM: 12 FT | 24.0 FT |
| § 150-12.4 (2)(A) ACCESS WIDTH | PARKING AREAS FOR THREE OR MORE VEHICLES AND ACCESS TO THIS PARKING SHALL BE PAVED AND SHALL BE DESIGNED AND PLANNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRINCIPLES. | COMPLIES |
| § 150-12.6 & RSIS REQUIREMENTS | REQUIRED PARKING SPACES: 1 BEDROOM: 13 UNITS X 1.8 / UNIT = 23 SPACES 2 BEDROOM: 16 UNITS X 2.1 / UNIT = 32 SPACES 3 BEDROOM: 1 UNIT X 2.1 / UNIT = 2 SPACES TOTAL SPACES REQUIRED: 57 SPACES | 59 SPACES |
| § 150-12.8 (A) ADDITIONAL OFF-STREET PARKING REGULATIONS | ALL PARKING AREAS AND DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS CONCRETE, CONCRETE OR OTHER APPROVED PERMANENT HARD-SURFACED MATERIAL, AND ALL PARKING SPACES SHALL BE LINED AND DESIGNATED ON SAID PAVEMENT. | COMPLIES |
| § 150-12.8 (B) ADDITIONAL OFF-STREET PARKING REGULATIONS | ALL PARKING AREAS AND DRIVEWAYS MUST HAVE A SIX INCH SOLID CONCRETE OR BRICK BLOCK CURB TO SEPARATE THE PARKING AREA AND/OR DRIVEWAY FROM THE REQUIRED FRONT, SIDE AND REAR YARD WHEN THESE PARKING AREAS ARE LOCATED WITHIN SIX FEET OF THE YARD. | COMPLIES |
| § 150-12.8 (C)(3) ADDITIONAL OFF-STREET PARKING REGULATIONS | MINIMUM DRIVE AISLE WIDTH FOR 90° PARKING: 24 FEET | 23.0 FT (V) |
| § 150-12.8 (G) ADDITIONAL OFF-STREET PARKING REGULATIONS | ALL PARKING SPACES SHALL BE LAID OUT SO AS TO HAVE DIRECT ACCESS FROM A DRIVEWAY OR AISLE. | COMPLIES |
| § 150-12.8 (H) ADDITIONAL OFF-STREET PARKING REGULATIONS | ALL OFF-STREET PARKING AREAS SHALL PROVIDE SPACE TO PERMIT A VEHICLE TO TURN AROUND ON THE SITE AS TO AVOID A BACKING MANEUVER WITHIN THE STREET. | COMPLIES |

(V) VARIANCE

GENERAL DESIGN REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|--|---|
| § 150-5.3 (F) YARD REGULATIONS | NO PAVEMENT IN REQUIRED FRONT YARD, SIDE YARD, OR REAR YARD EXCEPT TO ALLOW DRIVEWAY APRONS. | COMPLIES |
| § 150-7.12 (A) RETAINING WALLS | NO RETAINING WALL SHALL EXCEED FOUR (4) FEET IN HEIGHT IN THE MINIMUM FRONT YARD SETBACK AND SIX (6) FEET IN HEIGHT ELSEWHERE. | FRONT YARD: 11.1 FT (V) ELSEWHERE: 3.5 FT |
| § 150-7.12 (C) RETAINING WALLS | WHEN RETAINING WALLS ARE UTILIZED, A FENCE MUST BE PLACED UPON THE LAND BEHIND THE HIGHEST RETAINING WALL IF THE MEASUREMENT FROM THE BOTTOM OF THE LOWEST RETAINING WALL TO THE TOP OF THE HIGHEST RETAINING WALL EXCEEDS TEN FEET OVER A FIVE FOOT HORIZONTAL MEASUREMENT. | COMPLIES |
| § 150-7.12 (D) RETAINING WALLS | ALL RETAINING WALLS MUST BE DESIGNED NOT ONLY TO RETAIN THE SOIL BEHIND SAID WALL BUT ALSO CONTAIN STRUCTURES TO ENSURE ADEQUATE GROUND WATER DRAINAGE. | COMPLIES |
| § 150-7.13 (A) MECHANICAL EQUIPMENT | NO MECHANICAL EQUIPMENT SHALL BE LOCATED WITHIN A MINIMUM YARD REQUIREMENT AND SHALL NOT EXTEND MORE THAN FIVE FEET FROM THE STRUCTURE FOR WHICH THEY SERVE. | COMPLIES |
| § 150-7.18 (D) SIDEWALKS, NON RESIDENTIAL | SIDEWALKS OF CONCRETE SHALL BE FIVE INCHES THICK EXCEPT AT POINTS OF VEHICULAR CROSSING, WHERE THEY SHALL BE AT LEAST EIGHT INCHES THICK AND SHALL BE REINFORCED WITH WELDED WIRE FABRIC MESH OR AN EQUIVALENT. | COMPLIES |
| § 150-7.73 (A) FENCES | MAXIMUM FENCE HEIGHT MEASURED FROM GROUND LEVEL: 6 FT | 6.0 FT |
| § 150-7.73 (G) FENCES | MINIMUM FENCE SETBACK FROM PROPERTY LINE: 0.5 FT | 1.0 FT |
| § 150-7.73 (L) FENCES | NO FENCE SHALL BE ERECTED THAT INTERFERES WITH THE PUBLIC RIGHT-OF-WAY OR INTERFERES WITH THE VISIBILITY OF VEHICULAR AND PEDESTRIAN TRAFFIC PROCEEDING ALONG ANY PUBLIC RIGHT-OF-WAY. | COMPLIES |

(V) VARIANCE

DESIGN VALUES FOR TURNING SIGHT DISTANCE (AASHTO)

FIGURE 6-1: SIGHT DISTANCE AT INTERSECTIONS FOR LEFT OR RIGHT TURNING & CROSSING VEHICLES WITH STOP CONTROL

Intersection: Sight Distance (ft) Stop Control on Minor Road Two Lane Highway

| Design Speed (mi/h) | Left-Turn | | Right-Turn or Cross | |
|---------------------|-----------|-----|---------------------|------|
| | LD | WD | LD | WD |
| 25 | 580 | 580 | 425 | 580 |
| 30 | 735 | 420 | 510 | 735 |
| 35 | 900 | 490 | 595 | 900 |
| 40 | 1065 | 560 | 680 | 1065 |
| 45 | 1230 | 630 | 765 | 1230 |
| 50 | 1395 | 700 | 850 | 1395 |
| 55 | 1560 | 770 | 935 | 1560 |
| 60 | 1725 | 840 | 1020 | 1725 |
| 65 | 1890 | 910 | 1105 | 1890 |
| 70 | 2055 | 980 | 1190 | 2055 |

For highways with more than 2 lanes or where approach grade on minor road exceeds 2%, the distance (d) must be calculated using the formula: $d = 1.47Vt$

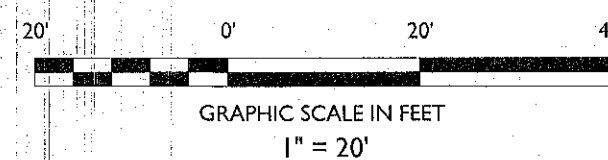
SYMBOL

DESCRIPTION

| | |
|-----|-------------------------------|
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| --- | SAWCUT LINE |
| --- | PROPOSED CURB |
| --- | PROPOSED DEPRESSED CURB |
| --- | PROPOSED SIGNS / BOLLARDS |
| --- | PROPOSED BUILDING |
| --- | PROPOSED CONCRETE |
| --- | PROPOSED RETAINING WALL |
| --- | PROPOSED RAILING |
| --- | PROPOSED BUILDING DOORS |
| --- | PROPOSED BOARD ON BOARD FENCE |
| --- | PROPOSED CHAIN LINK FENCE |
| --- | PROPOSED PARKING METER |

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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PRELIMINARY AND FINAL SITE PLAN
21 & 25 GROVE ASSOCIATES, LLC.
PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
ESSEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE NO. 48731
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

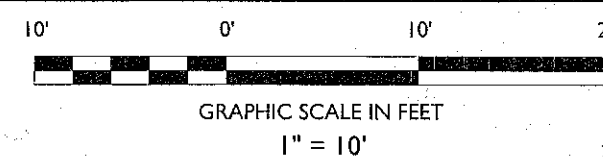
SCALE: 1" = 20' PROJECT ID: T-19059

TITLE:

**SITE PLAN
(LOWER LEVEL)**

DRAWING:

C-4

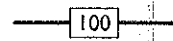







- DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS TO IDENTIFY ANY CONFLICTS WITH THE PROPOSED STORMWATER NOTIFICATION FIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE SAME TIME AS THE STORMWATER IMPROVEMENTS.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ORDER TO AVOID COLLISIONS WITH EXISTING UTILITIES. TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD, SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE RECORD DRAWING, THE CONTRACTOR SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE EXISTING UTILITY LOCATIONS AND THE PROPOSED STORMWATER INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE RECORD DRAWING. DISCREPANCIES SHOULD BE IDENTIFIED AND REPORTED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SLOPES AND ALL PROPOSED EXCAVATIONS TO BE PROTECTED FROM ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS. THE CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST BEST PRACTICES.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR Dewatering OPERATIONS AND GROUNDWATER DISPOSAL.

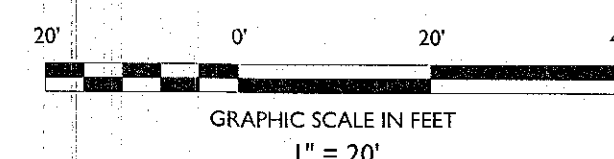
- | SYMBOL | DESCRIPTION |
|---|---|
|  | PROPOSED GRADING CONTOUR |
|  | PROPOSED GRADING RIDGELINE |
|  | PROPOSED DIRECTION OF DRAINAGE FLOW |
| X — G 100.00 | PROPOSED GRADE SPOT SHOT |
| X — TC 100.50 BC 100.00 | PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT |
| X — FC 100.00 | PROPOSED FLUSH CURB SPOT |
| X — DC 100.12 BC 100.00 | PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT |
| X — TW 102.00 BW 100.00 | PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT |
|  | PROPOSED STORMWATER INLETS |
|  | PROPOSED STORMWATER MANHOLE |
|  | PROPOSED STORMWATER PIPE |

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF A PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE PROTECTED AND KEPT CLEAN PER CONTRACT. SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORTCUTS TO MAINTAIN ALL EXISTING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND THE STABILITY OF THE ADJACENT AREAS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO THE CIVIL ENGINEER, J. J. CONSTRUCTION, LLC, FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY AND EXCAVATION ELEVATIONS TO THE PROPOSED POSITIVE DRAINAGE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY REGULATIONS AND REGULATORY AGENCIES.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURBS: 0.50%
 - CONCRETE SURFACES: 0.25%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AROUND FROM ALL EXISTING AND PROPOSED STRUCTURES TO ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFREDERICK ENGINEERING & DESIGN, LLC, IF IT IS THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DISPERSE THE EXCESS WATER TO THE EXISTING LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL REVIEW AND APPROVAL BY THE CITY OF CHICAGO AND THE CITY ENGINEER/REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL, IF SUMP PUMPS ARE USED, ALL DISCHARGES SHALL BE CONNECTED TO THE CITY OF CHICAGO SEWER SYSTEM WITH APPROVAL FROM THE CITY OF CHICAGO SEWER DEPARTMENT.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 10.00% CROSS SLOPE ALONG WALKWAYS AND CROSS ACCESSIBLE PATHS. THE CONTRACTOR SHALL MAINTAIN THE LOCATION OF THE ACCESSIBLE PATH. THE CONTRACTOR IS RESPONSIBLE TO INSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PROJECT.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP OF THE RAMP, THE BOTTOM OF THE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEARANCE OF 80 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB CURBS AND CROSS ACCESSIBLE PATHS. CURBS SHALL HAVE A MAXIMUM RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR CURBS THAT DO NOT HAVE A LANDING AREA, THE CURBS SHALL NOT BE GREATER THAN 8.33% IF A LANDING IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A RAMP SHALL BE 36 INCHES.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. IN AN AREA IN FRONT OF A BUILDING ENTRANCE, HANDRAILS ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREA.
8. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 1/2 INCHES VERTICAL CHANGE IN LEVEL BEYOND A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HOLES) IN THE SEPARATION BETWEEN THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

[illegible]

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

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PRELIMINARY AND FINAL SITE PLAN

21 & 25 GROVE ASSOCIATES, LLC.

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
TOWNSHIP OF VERONA
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MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE No. 48731
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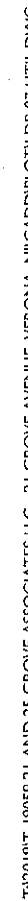
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| SCALE: | 1" = 20' | PROJECT ID: | T-19059 |
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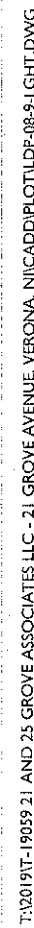
GRADING & DRAINAGE PLAN

DRAWING:







C-5




C-6



* INTERIOR GARAGE FIXTURE MOUNTING HEIGHT SHOWN IS RELATIVE TO THE GARAGE FINISHED FLOOR.
EXTERIOR WALL MOUNTED FIXTURE MOUNTING HEIGHT SHOWN IS RELATIVE TO FIRST FLOOR FINISHED FLOOR ELEVATION OF 278.00
EXTERIOR POLE MOUNTED FIXTURE MOUNTING HEIGHT SHOWN IS RELATIVE TO FINISHED GRADE AT SURFACE.


| <u>SYMBOL</u> | <u>DESCRIPTION</u> |
|---|--|
|  | PROPOSED CALCULATION AREA |
|  | PROPOSED ISOMETRIC LINE |
|  | PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT) |
|  | PROPOSED LIGHTING INTENSITY (FOOTCANDLES) |
|  | PROPOSED AREA LIGHT |
|  | PROPOSED BUILDING MOUNTED LIGHT |

20' 0' 20' 40'



GRAPHIC SCALE IN FEET
1" = 20'

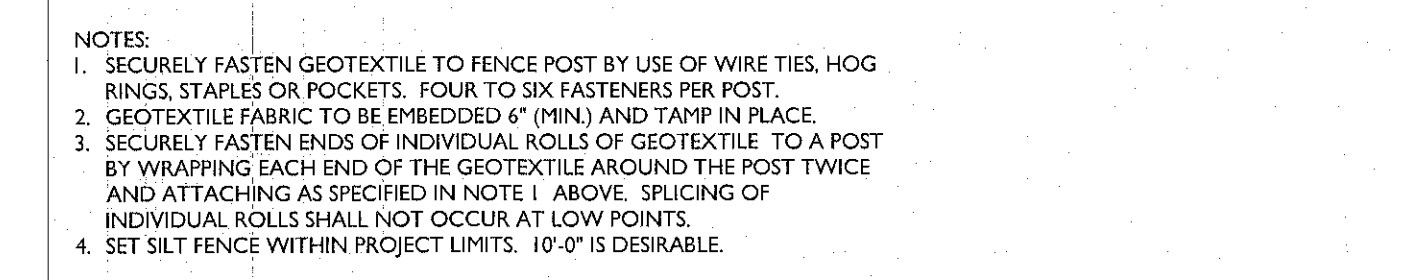
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**BLOCK 1702, LOT 22
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TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY**

C-7



NOT TO SCALE

SEQUENCE OF CONSTRUCTION

- NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO CITY AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



NOT TO SCALE

Diagram illustrating a soil stockpile with a 3:1 side slope and a 35' maximum height. A silt fence is shown on the left side of the stockpile.

Labels in the diagram include:

- STOCKPILE SHALL NOT EXCEED MAXIMUM 3:1 SIDE SLOPE
- 3 (indicating the slope ratio)
- 35' MAXIMUM HEIGHT
- INSTALL SILT FENCE AROUND SOIL STOCKPILE (SEE DETAIL)

- ### SOIL STOCKPILE DETAIL

NOT TO SCALE



NOT TO SCALE


- ### DUST CONTROL NOTES

- STABILIZATION SPECIFICATIONS:**

- HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT**
SOIL EROSION AND SEDIMENT CONTROL NOTES

- ## SOIL CHARACTERISTICS CHART

20' 0' 20'



GRAPHIC SCALE IN FEET
1" = 20'

**BLOCK 1702, LOT 22
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ESSEX COUNTY, NEW JERSEY**



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C-8

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

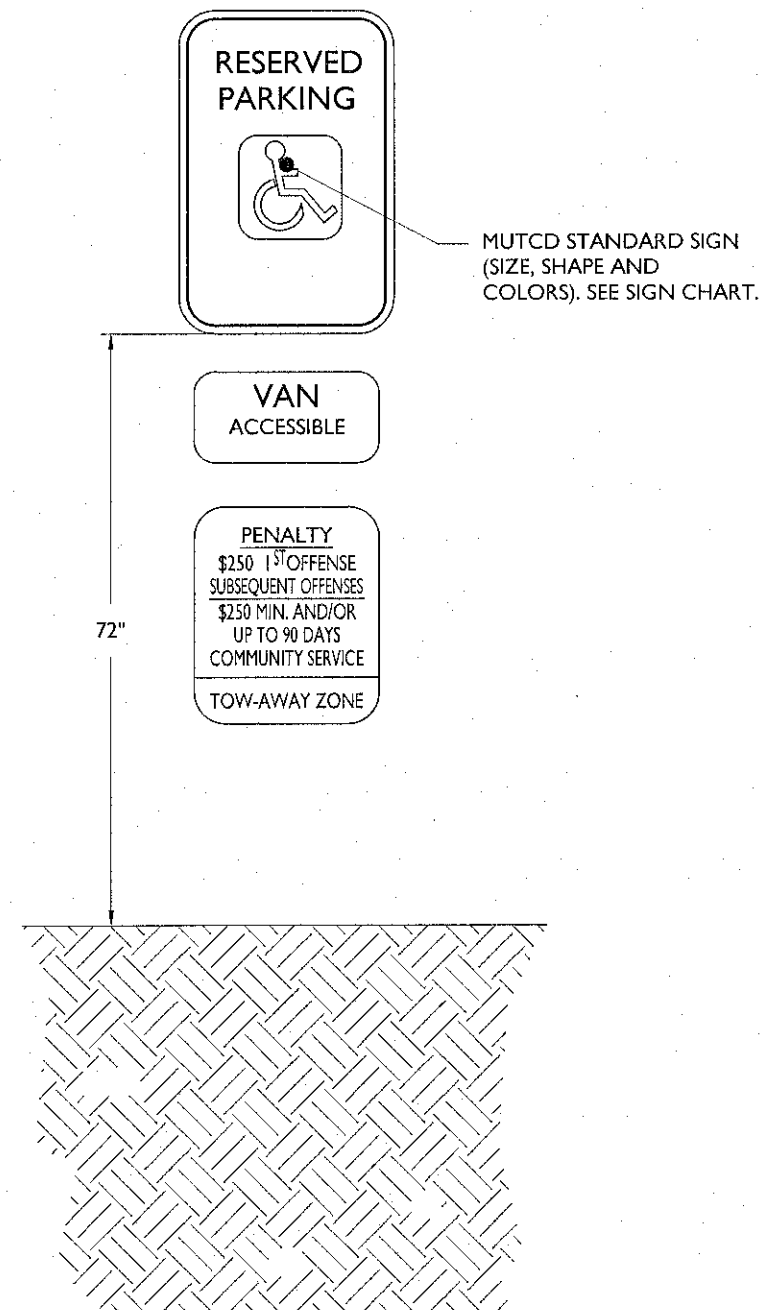
* REFER TO THE TABLE OF LAND USE AND ZONING ON SHEET C-4



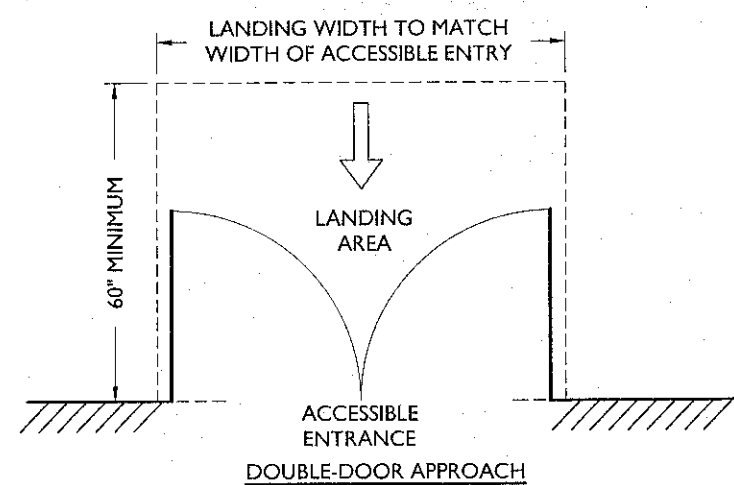
- 20' 0' 20' 40'
- GRAPHIC SCALE IN FEET
1" = 20'

| M.U.T.C.D. NUMBER | TEXT | COLOR | | SIZE OF SIGN (WIDTH X HEIGHT) | TYPE OF MOUNT |
|-------------------|------|--------|------------|-------------------------------|---------------|
| | | LEGEND | BACKGROUND | | |
| STOP SIGN (R1-1) | | RED | WHITE | 36"x36" | GROUND |

- NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

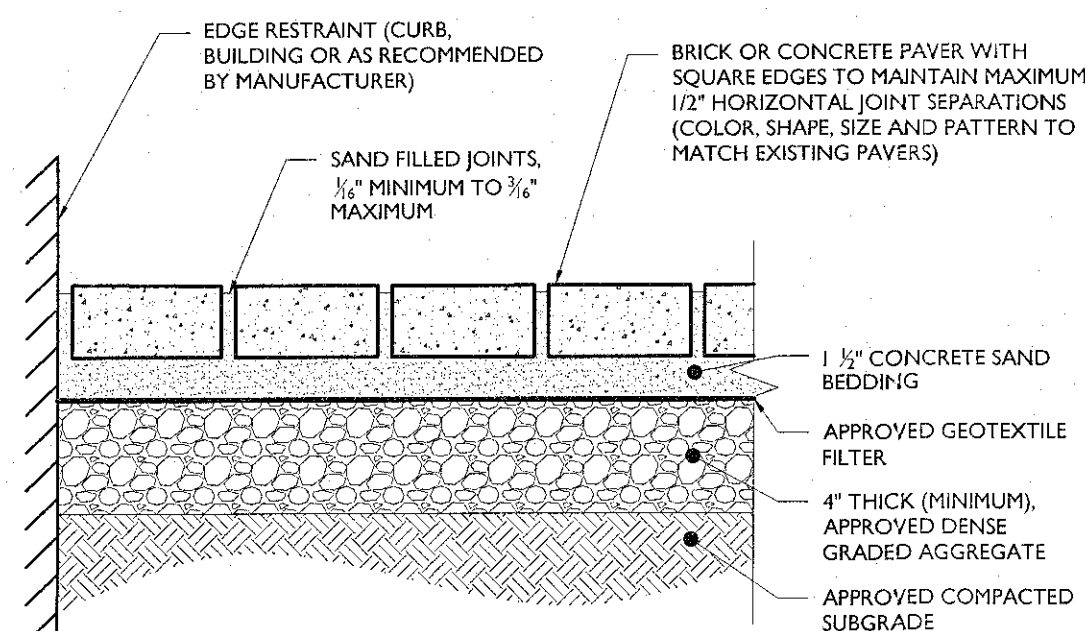


SIGN TABLE & WALL MOUNTED ADA POST DETAIL
NOT TO SCALE

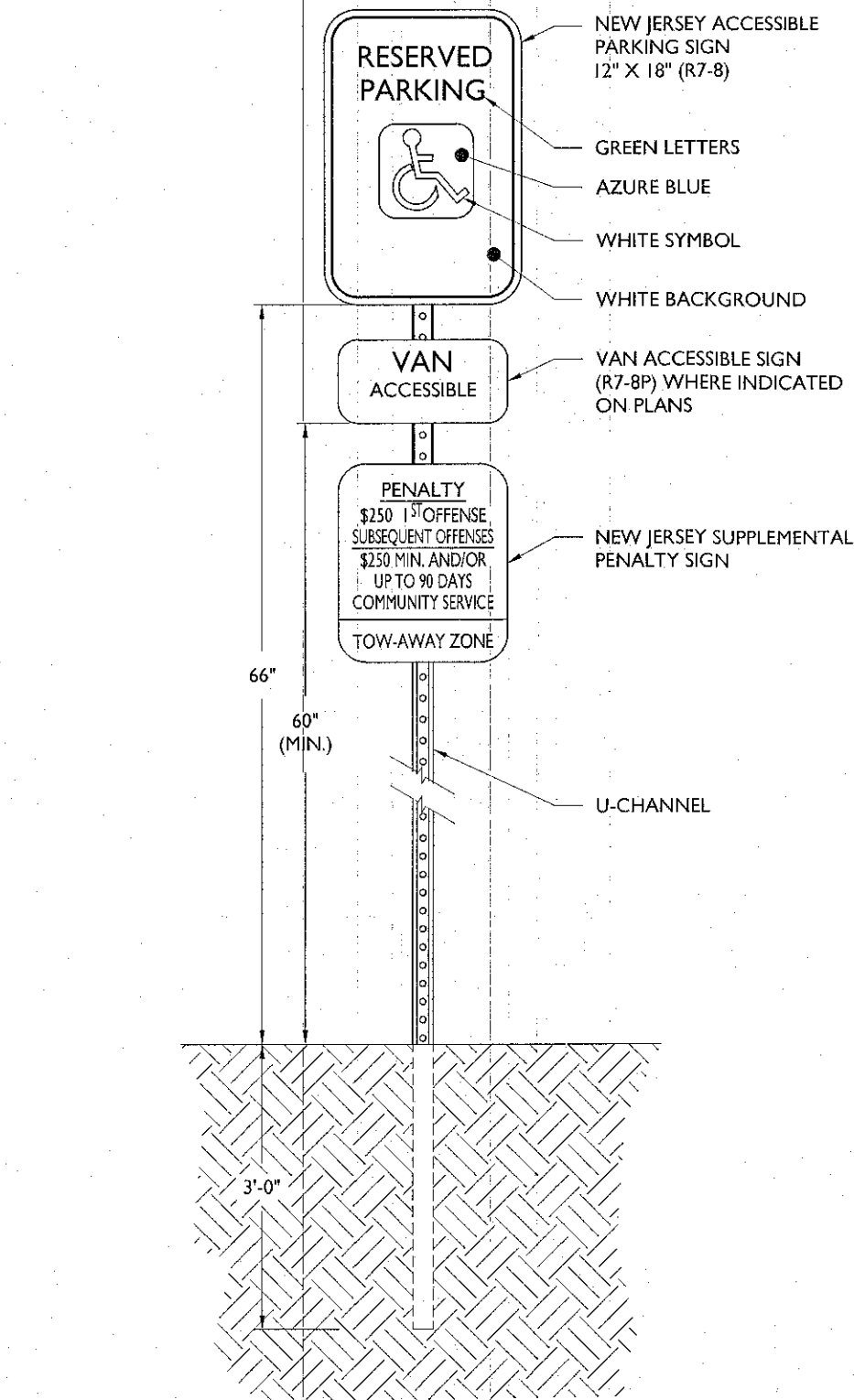


ACCESSIBLE ENTRANCE LANDING DETAIL
NOT TO SCALE

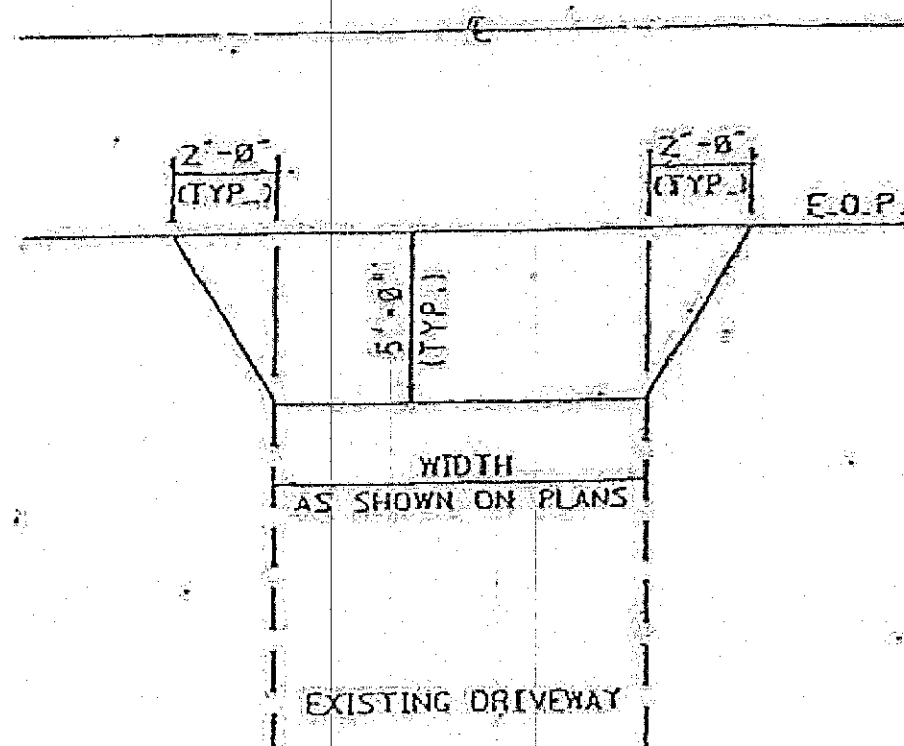
- NOTES:
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.



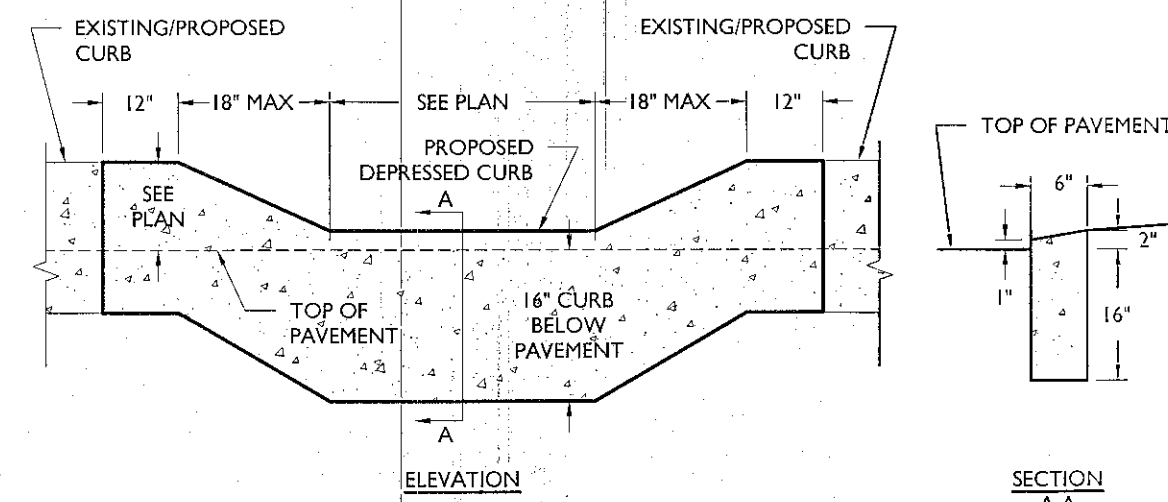
BRICK PAVER WALKWAY DETAIL
NOT TO SCALE



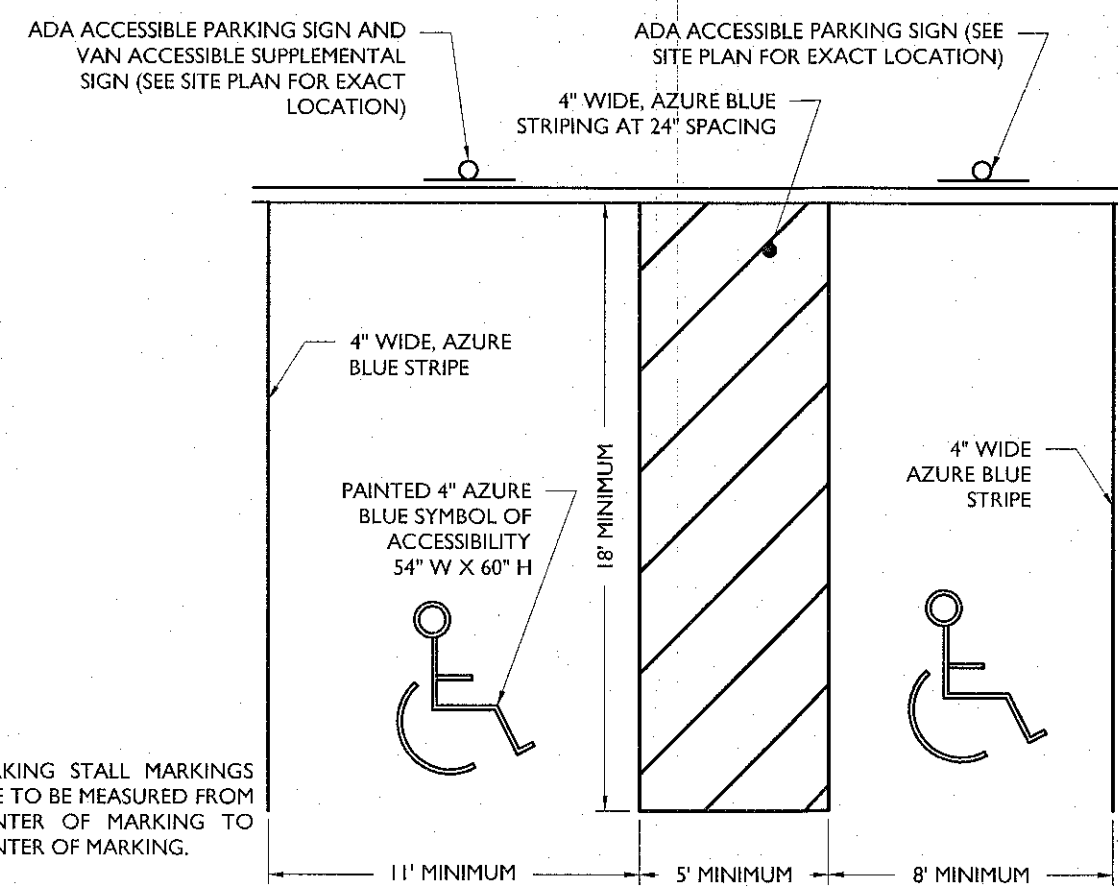
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



ESSEX COUNTY DRIVEWAY DETAIL
NOT TO SCALE

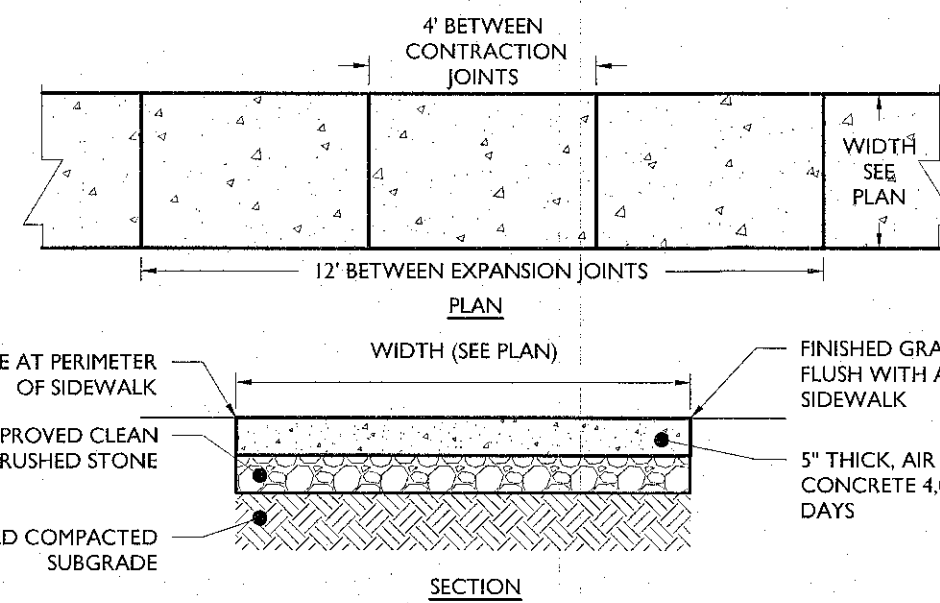


DEPRESSED CURB DETAIL
NOT TO SCALE



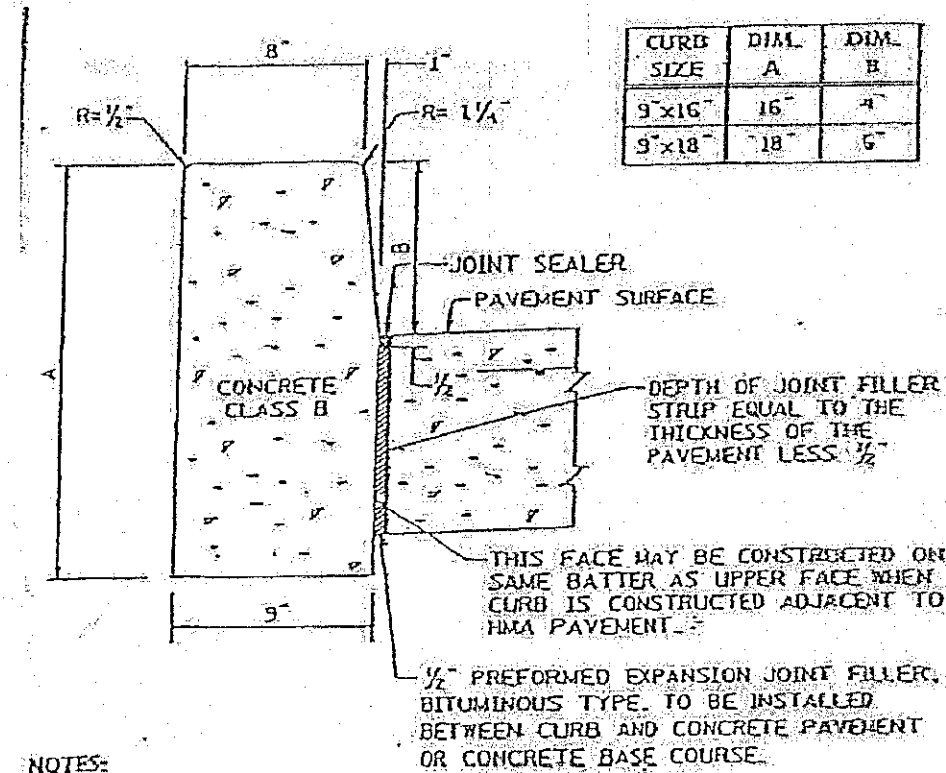
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

- NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

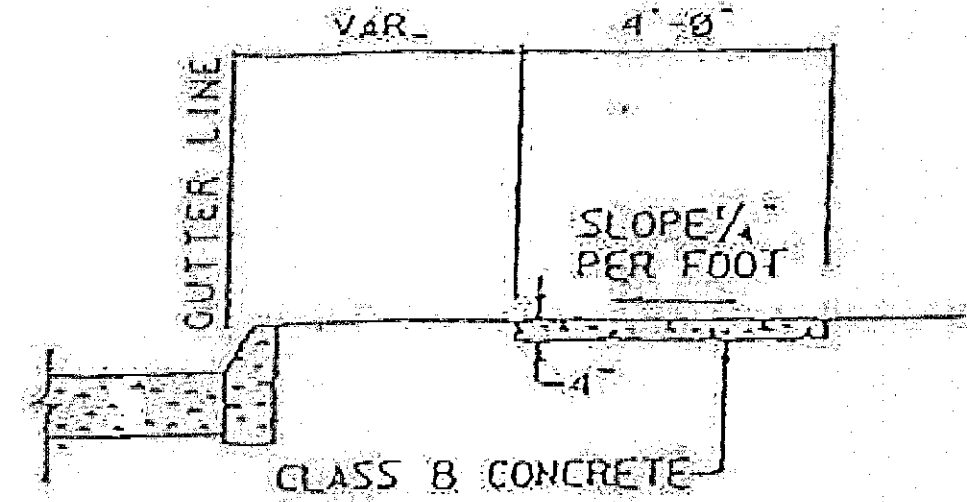


CONCRETE WALKWAY DETAIL
NOT TO SCALE

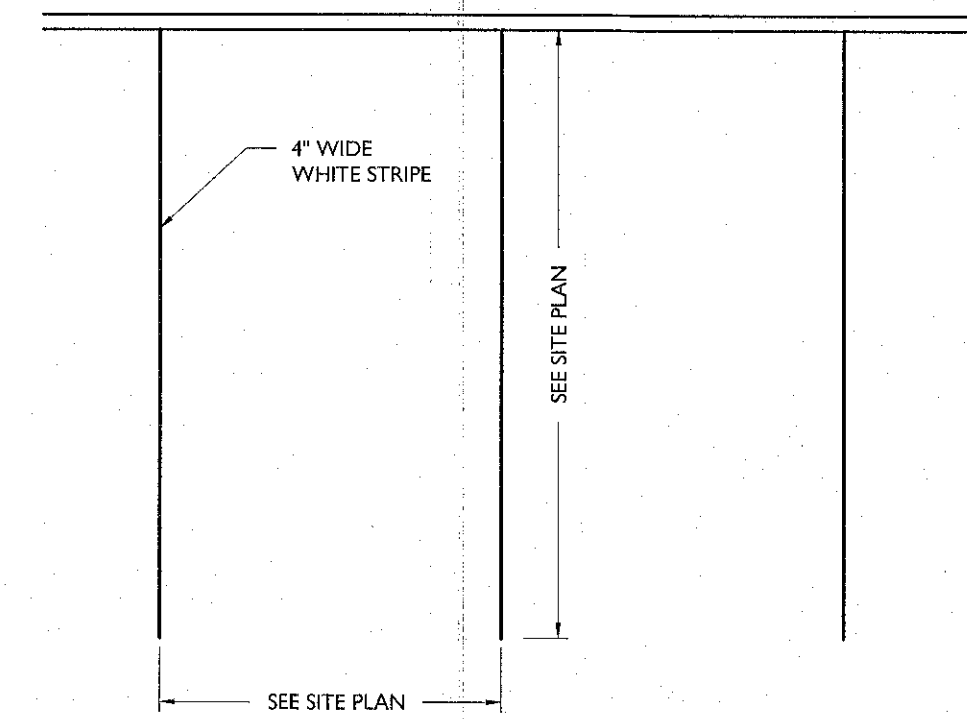
- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>



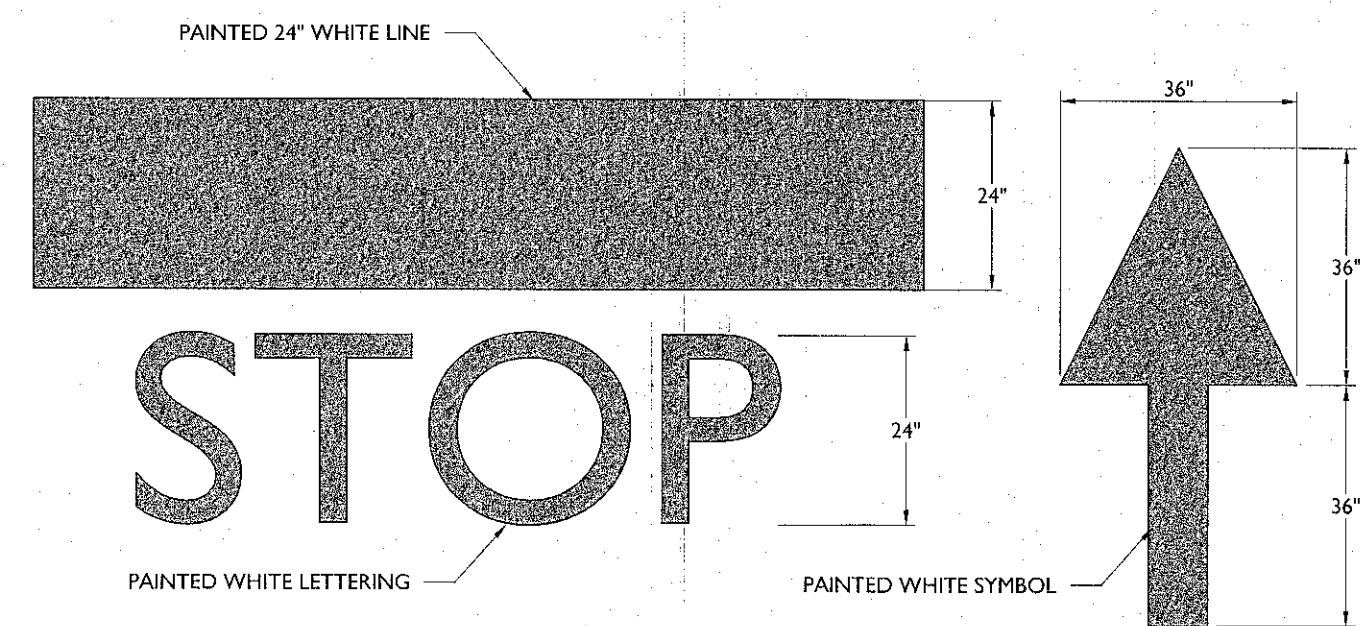
ESSEX COUNTY CURB DETAIL
NOT TO SCALE



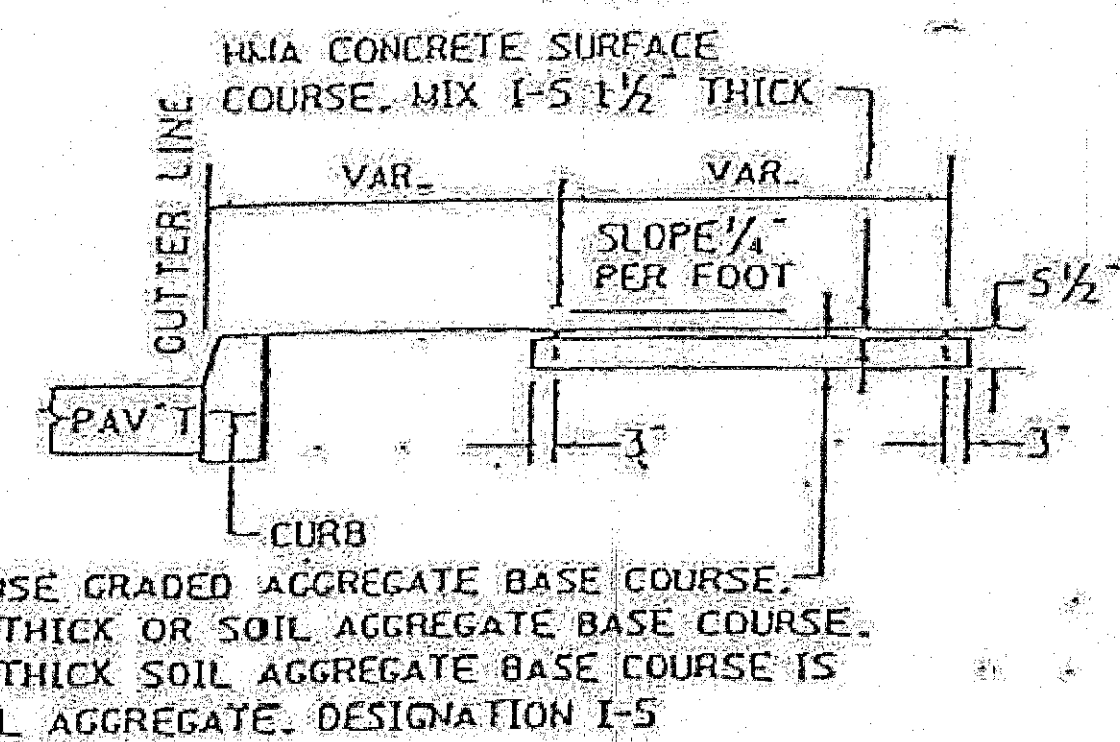
ESSEX COUNTY SIDEWALK DETAIL
NOT TO SCALE



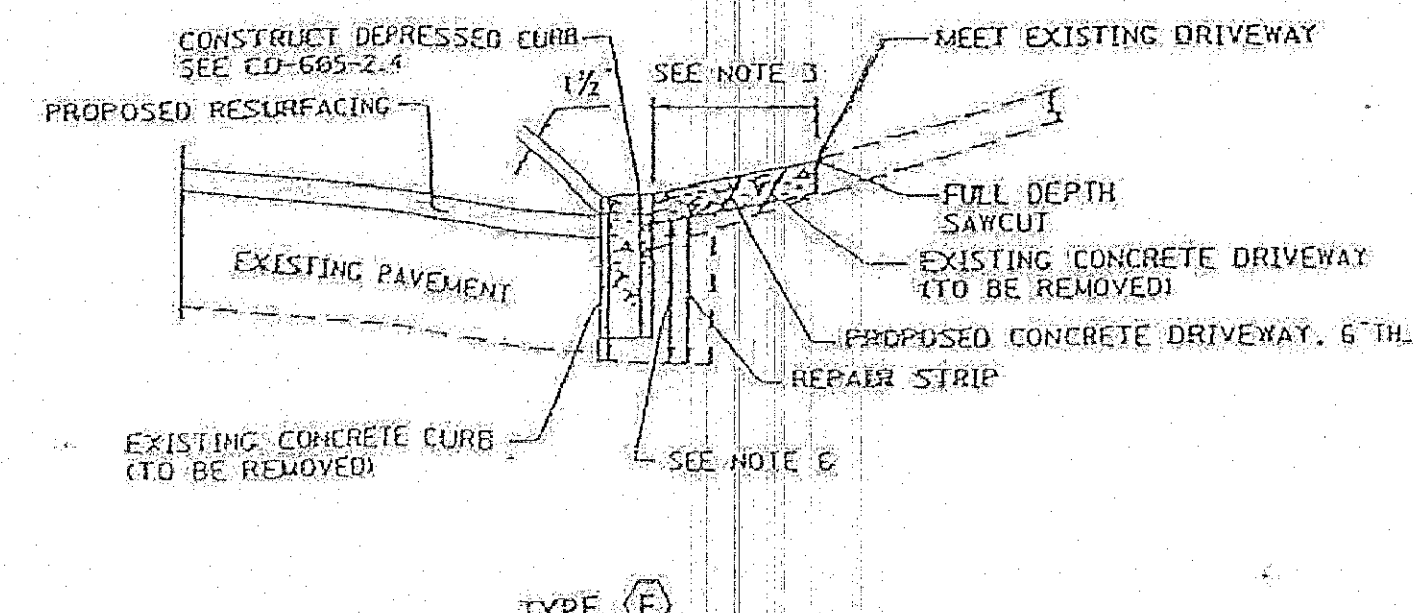
PARKING STALL MARKINGS
NOT TO SCALE



STOP BAR & ARROW DETAILS
NOT TO SCALE



ESSEX COUNTY SIDEWALK DETAIL
NOT TO SCALE



ESSEX COUNTY DRIVEWAY DETAIL
NOT TO SCALE

| BID | SPM | MEM | DBB | ANY | TL | DATE | BY | DESCRIPTION |
|------------|------------|------------|------------|------------|------------|-------|----|-------------|
| 06/25/2021 | 03/04/2021 | 07/31/2020 | 02/28/2020 | 10/10/2019 | 09/20/2019 | | | |
| 6 | 5 | 4 | 3 | 2 | 1 | ISSUE | | |

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21 & 25 GROVE ASSOCIATES, LLC.
PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

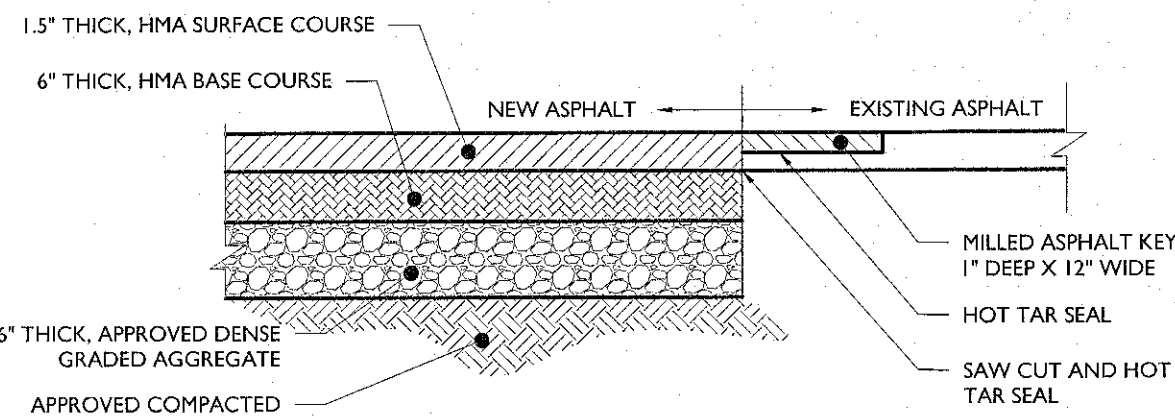
MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE NO. 4873
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: T-19059

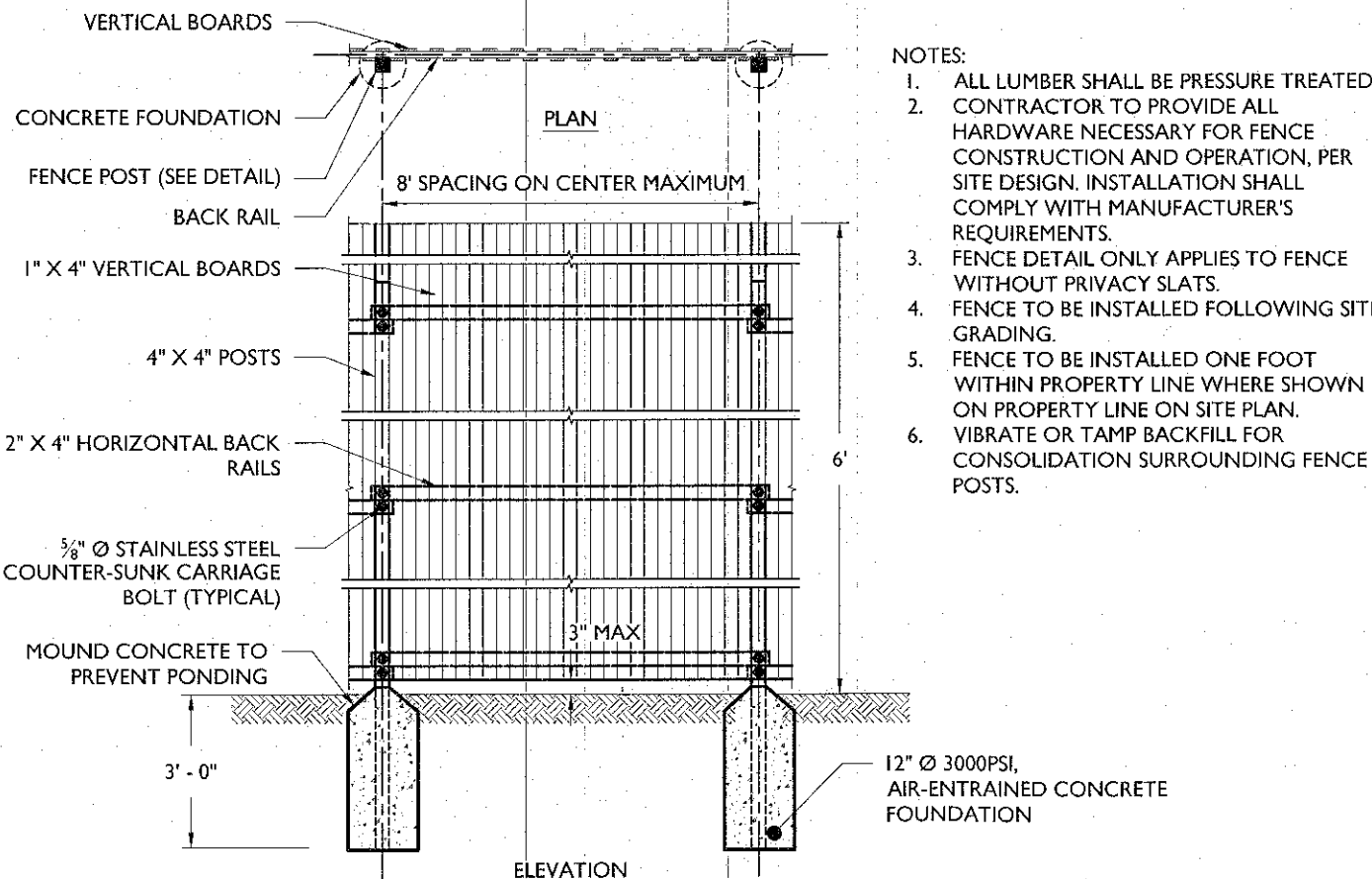
CONSTRUCTION DETAILS

DRAWING: C-11



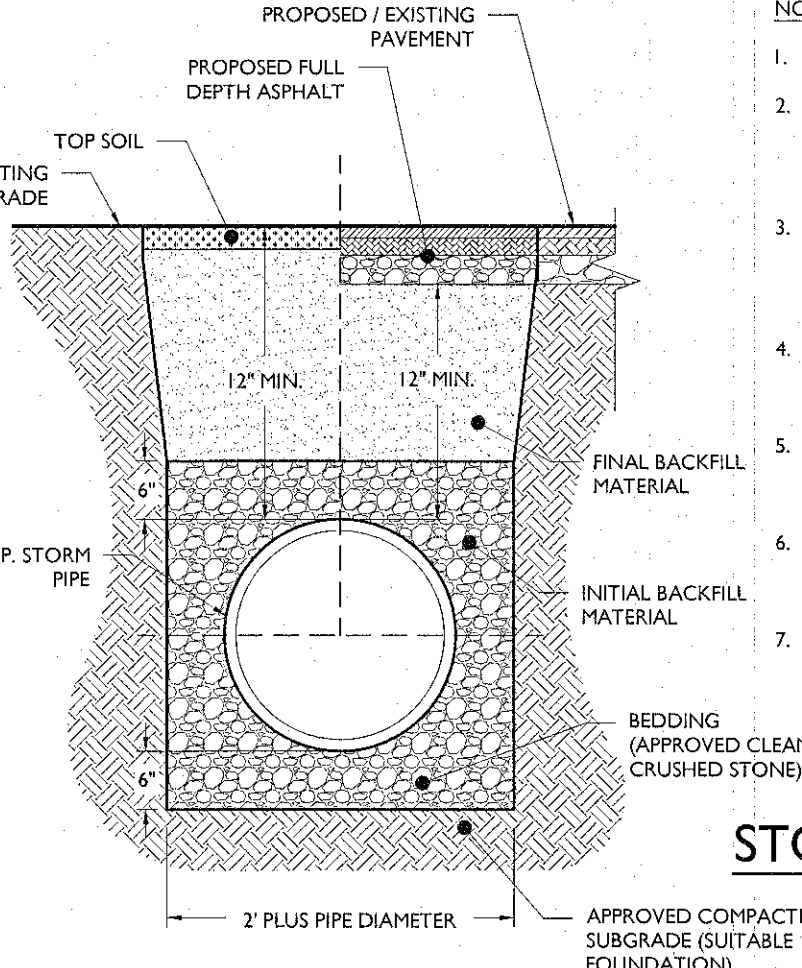
FULL DEPTH ASPHALT PAVEMENT DETAIL

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



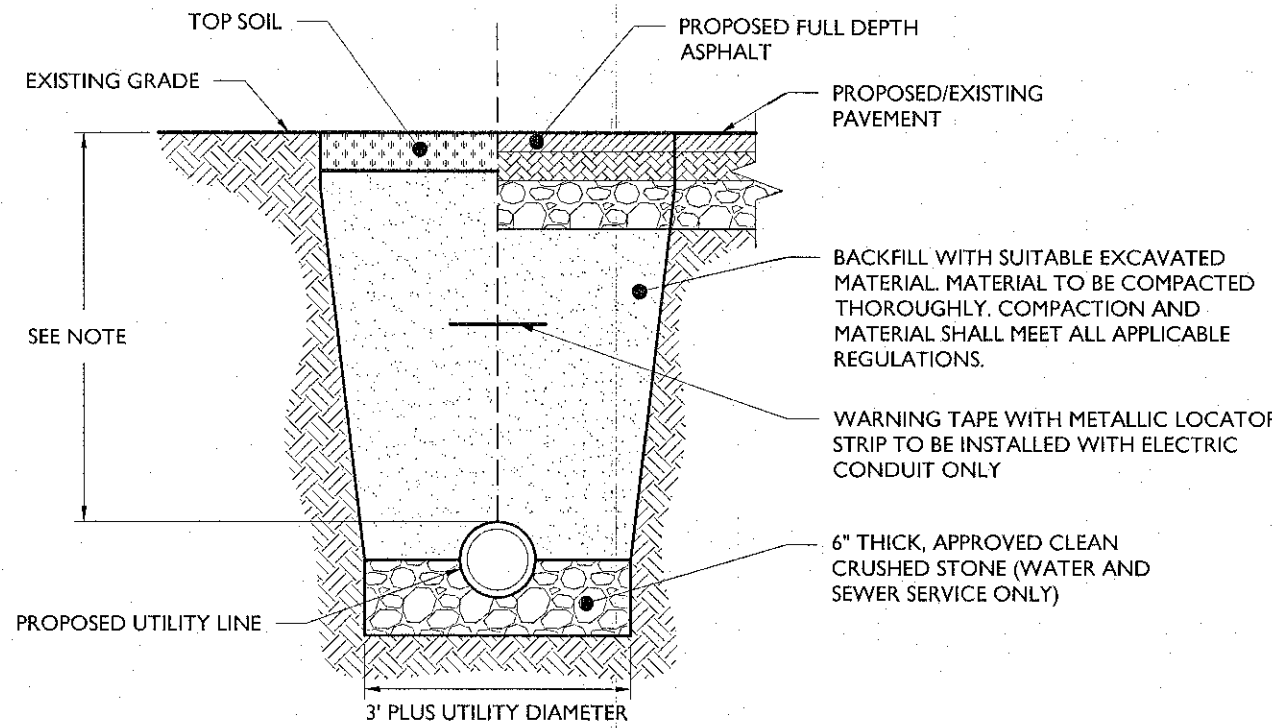
BOARD ON BOARD FENCE DETAIL

NOT TO SCALE



STORM TRENCH DETAIL

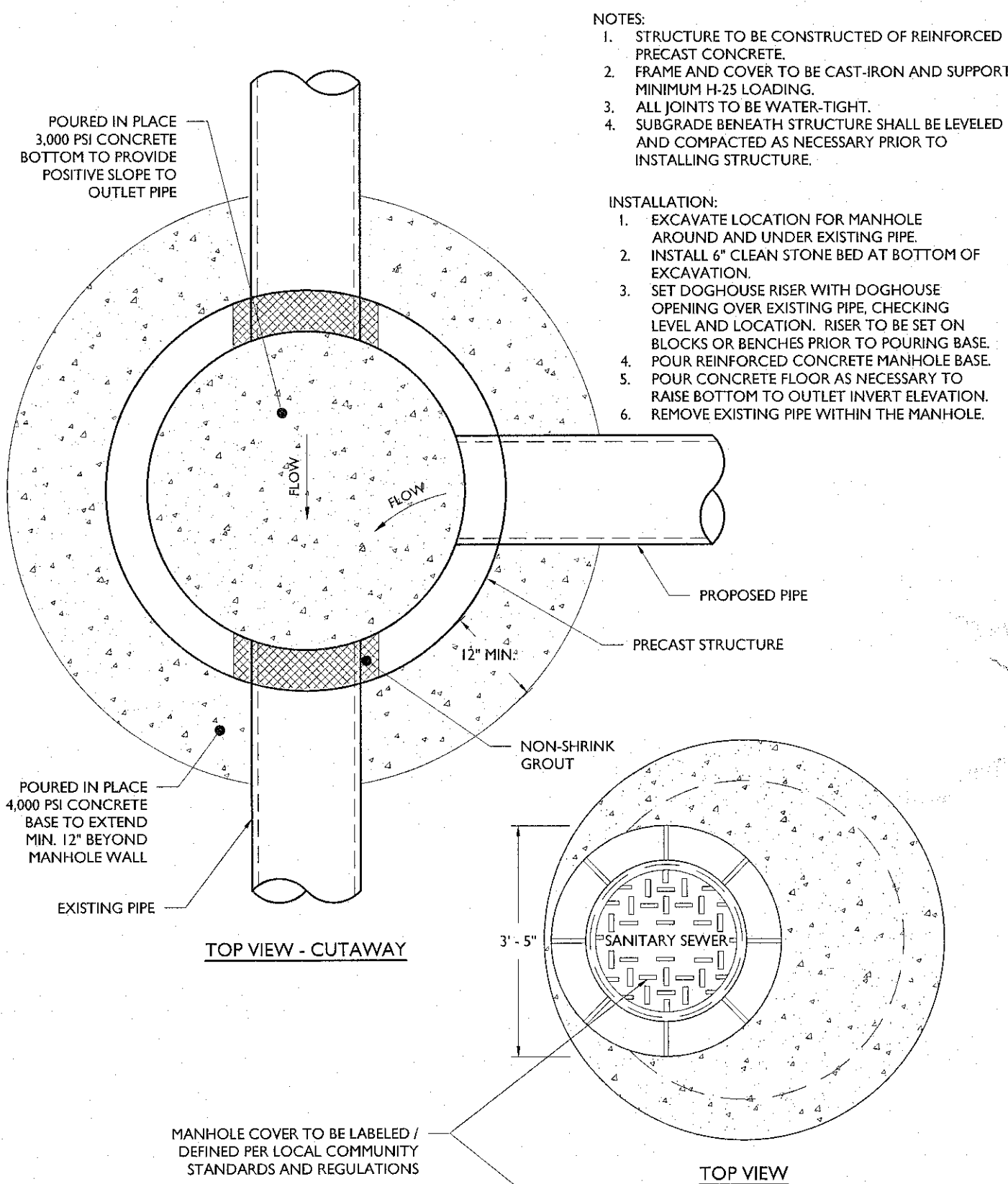
NOT TO SCALE



UTILITY TRENCH DETAIL

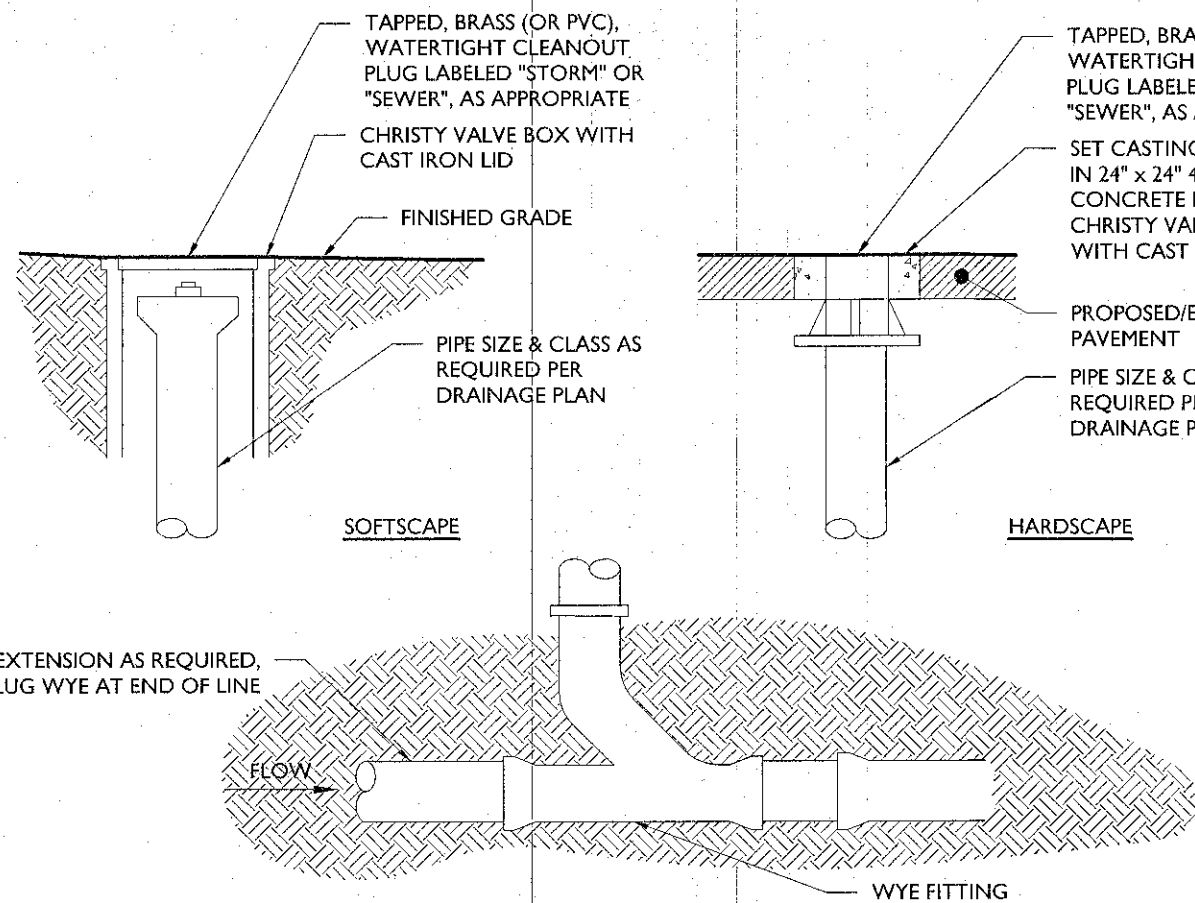
NOT TO SCALE

NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOW:
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
• SEWER SERVICE - 36\"/>



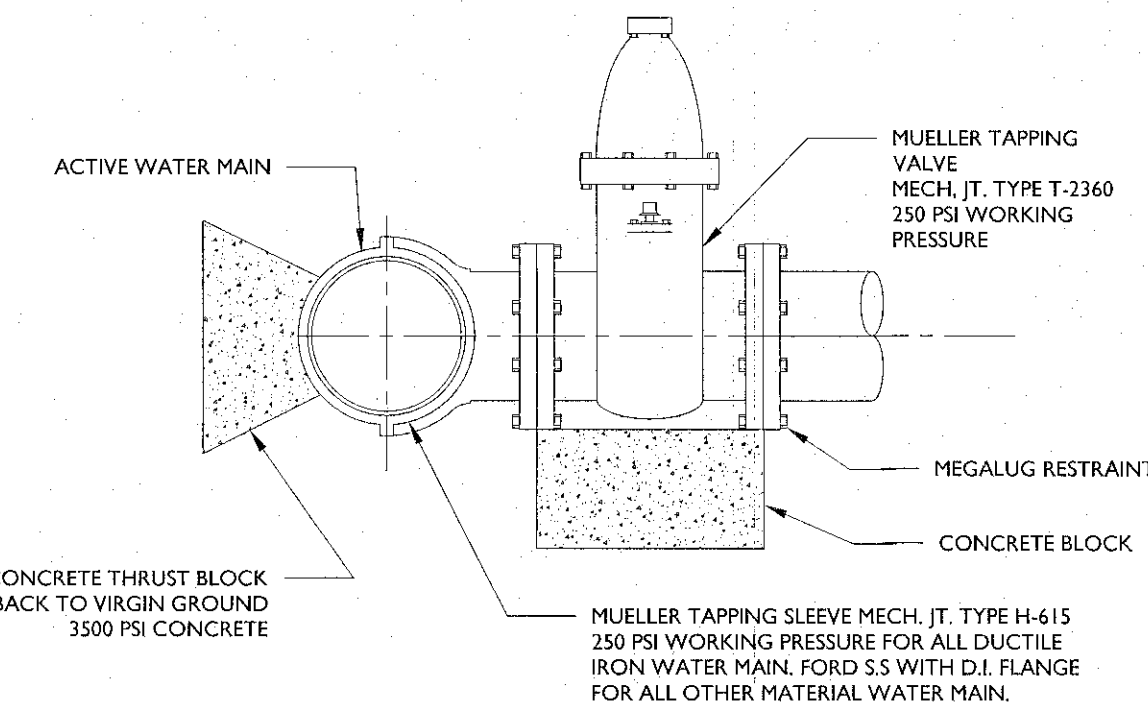
DOGHOUSE MANHOLE DETAIL

NOT TO SCALE



CLEAN-OUT DETAIL

NOT TO SCALE

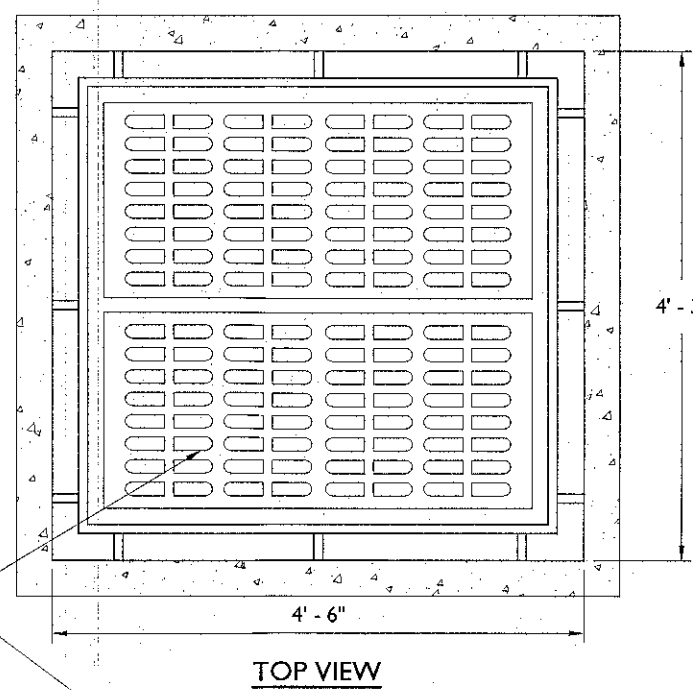


WET TAP

NOT TO SCALE

NOTES:
1. ALL NEWLY INSTALLED TAPPING SLEEVES AND TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150 PSI FOR A PERIOD OF THIRTY MINUTES AT THE END OF THE TEST PERIOD. IF THE TEST PRESSURE HAS REMAINED CONSTANT, THE TAPPING SLEEVE AND AND VALVE SHALL HAVE PASSED THE TEST.
2. ANY VALVE INSTALLED OUTSIDE OF ASPHALT AREAS MUST BE CONSTRUCTED WITH A 2'x2'x6\"/>

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TYPE 'E' STORM INLET DETAIL

NOT TO SCALE

BICYCLE SAFE GRATE TO BE LABELED / DEFINED PER LOCAL COMMUNITY STANDARDS AND REGULATIONS

THE GRATE SHALL BE RAISED TO FINAL GRADE USING FROM 1 TO 3 PRECAST RINGS AND/OR BRICK

MANHOLE LADDER RUNGS (SEE DETAIL)

PRECAST SECTIONS SHALL BE JOINED USING A GASKET AND CEMENT GROUT TO PRODUCE A 'LEAK-FREE' JOINT.

PRECAST REINFORCED CONCRETE STRUCTURE TO MEET MINIMUM H-25 LOADING

POURED IN PLACE 3,000 PSI CONCRETE BOTTOM TO PROVIDE POSITIVE SLOPE TO OUTLET PIPE

THE PRECAST STRUCTURE SHALL BE PLACED ON A MINIMUM OF 6\"/>

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PRELIMINARY AND FINAL SITE PLAN

21 & 25 GROVE ASSOCIATES, LLC.

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

Matthew J. Seckler
MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE NO. 4873
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: AS SHOWN PROJECT ID: T-19059

TITLE:

CONSTRUCTION DETAILS

DRAWING:

C-12




NOTES:

1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. CASTING PIERS SHALL BE WRITTEN UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSIS/ICE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. CONTRACTOR SHALL COMPLY WITH ALL PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

1

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PRELIMINARY AND FINAL SITE PLAN

21 & 25 GROVE ASSOCIATES, LLC.

**PROPOSED RESIDENTIAL
DEVELOPMENT**

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
CHESHAM, NEW JERSEY
ESSEX COUNTY, NEW JERSEY



MATTHEW J. SECKLER, P.E.
 NEW JERSEY LICENSE No. 48731
 LICENSED PROFESSIONAL ENGINEER



STONEFIELD
engineering & design

| | |
|-----------------|---------------------|
| SCALE: AS SHOWN | PROJECT ID: T-19059 |
|-----------------|---------------------|

TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

C-13

DESCRIPTION

Westwood 912 and 912-2 are ultra compact wall fixtures for use with line voltage PAR30 halogen lamps. Model 912 provides downlight or uplight. Model 912-2 provides combination uplight and downlight. Both models mount over a standard 4" x 4" box and connect directly to 120V line voltage. Various lenses, housings and color or chrome films can be combined - up to three at once - to create multiple lighting effects.

SPECIFICATION FEATURES

- A... Material**
Housing and head are precision machined from corrosion resistant 6061-T6 aluminum, brass or copper. Mounting canopy is constructed from corrosion resistant aluminum, brass or copper.
- B... Finish Painted**
Features constructed from 6061-T6 aluminum are double protected by a chromate conversion undercoating and polyester powdercoat paint finish, surpassing the exposure demands of the outdoor environment. A variety of standard colors are available. Brass or Copper. Features constructed from brass or copper are left unplated to reveal the natural beauty of the material and will patina naturally over time.
- C... Head**
Head is removable for easy cleaning and access to three internal accessories at once (lenses, housings, filters) to achieve multiple lighting effects. Weep holes prevent water collection on the uplight position.
- D... Gasket**
Housing and head are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.
- E... Lens**
Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.
- F... Mounting**
Both models mount over a standard 4" x 4" box and connect directly to 120V line voltage. Model 912 provides downlight or uplight. Model 912-2 provides combination uplight and downlight.
- G... Hardware**
Stainless steel hardware is standard to provide maximum corrosion resistance.
- H... Socket**
Ceramic socket with 250°C Teflon coated lead wires and medium base.
- I... Electrical**
Operates with 120V line voltage.
- J... Lamp**
Not included. Available from Luminaire as necessary - see reverse side of this page.
- K... Labels & Approvals**
UL and cUL listed, extended wet label. Approved for use in wet locations. See 3000-2000 Quality System Standard. IBCW union made.
- L... Warranty**
Luminaire warrants its fixtures against defects in materials and workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps only the original manufacturer's warranty.

LUMIÈRE®

PHOTOMETRIC DATA

| Westwood 912/912-2 Lamp: PAR30/30W/120V CSC: 4500K | Cone of Light Distance Horizontal Plane Vertical Plane | Initial Beam Footcandle Footcandle | Beam Diameter Diameter |
|--|---|--|------------------------------|
| | 25' | 0 | 10.0' |
| | 30' | 1.4 | 12.0' |
| | 35' | 2.2 | 14.0' |
| | 40' | 3.1 | 16.0' |
| | 45' | 4.0 | 18.0' |
| | 50' | 5.0 | 20.0' |

| Westwood 912/912-2 Lamp: PAR30/30W/120V CSC: 4500K | Cone of Light Distance Horizontal Plane Vertical Plane | Initial Beam Footcandle Footcandle | Beam Diameter Diameter |
|--|---|--|------------------------------|
| | 25' | 0 | 10.0' |
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| | 45' | 4.0 | 18.0' |
| | 50' | 5.0 | 20.0' |

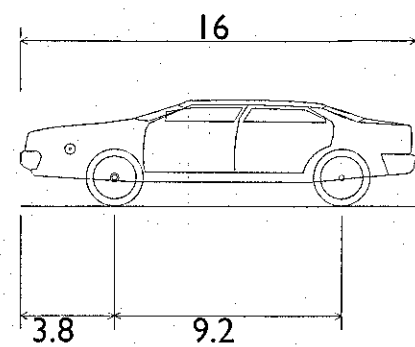
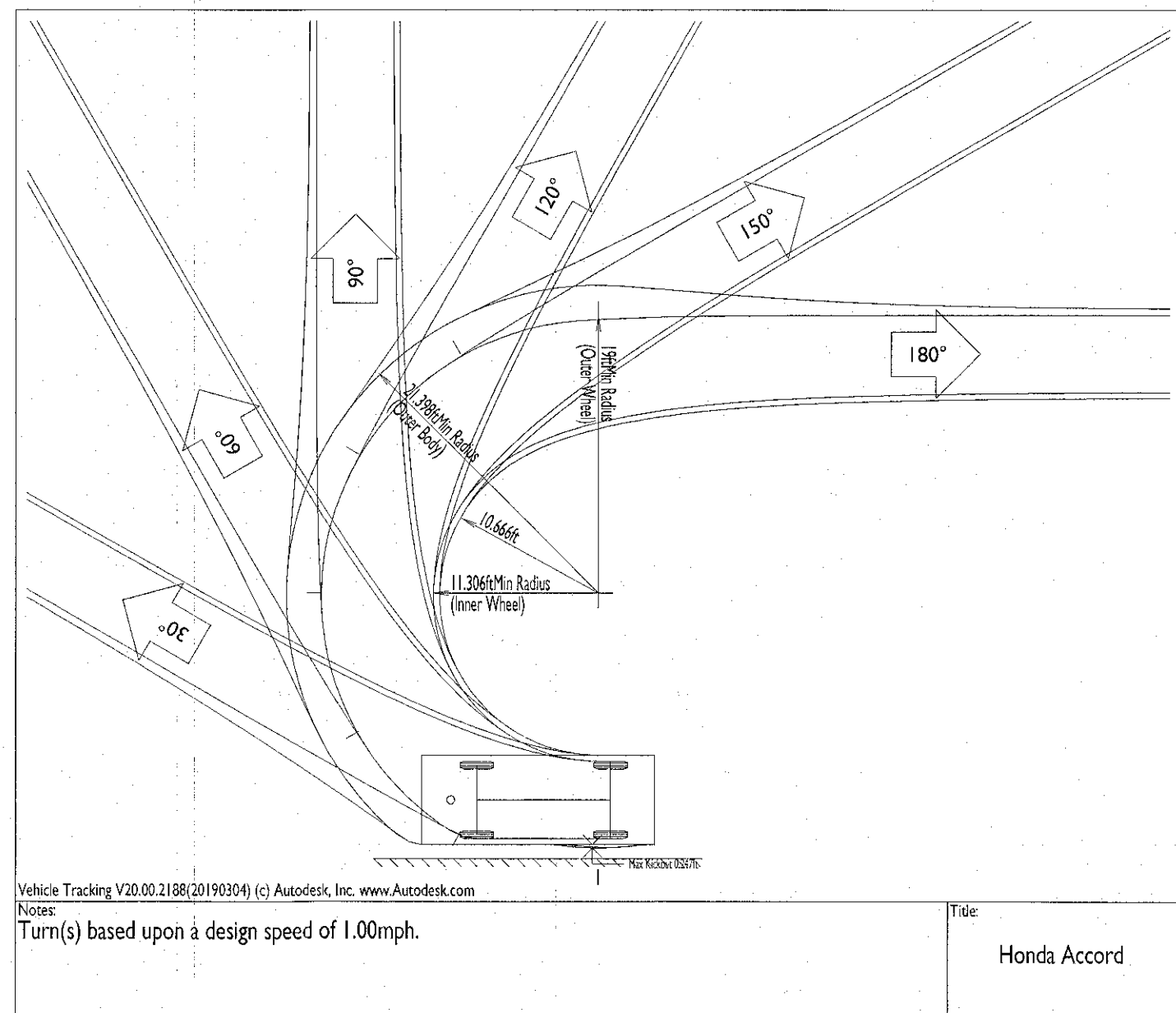
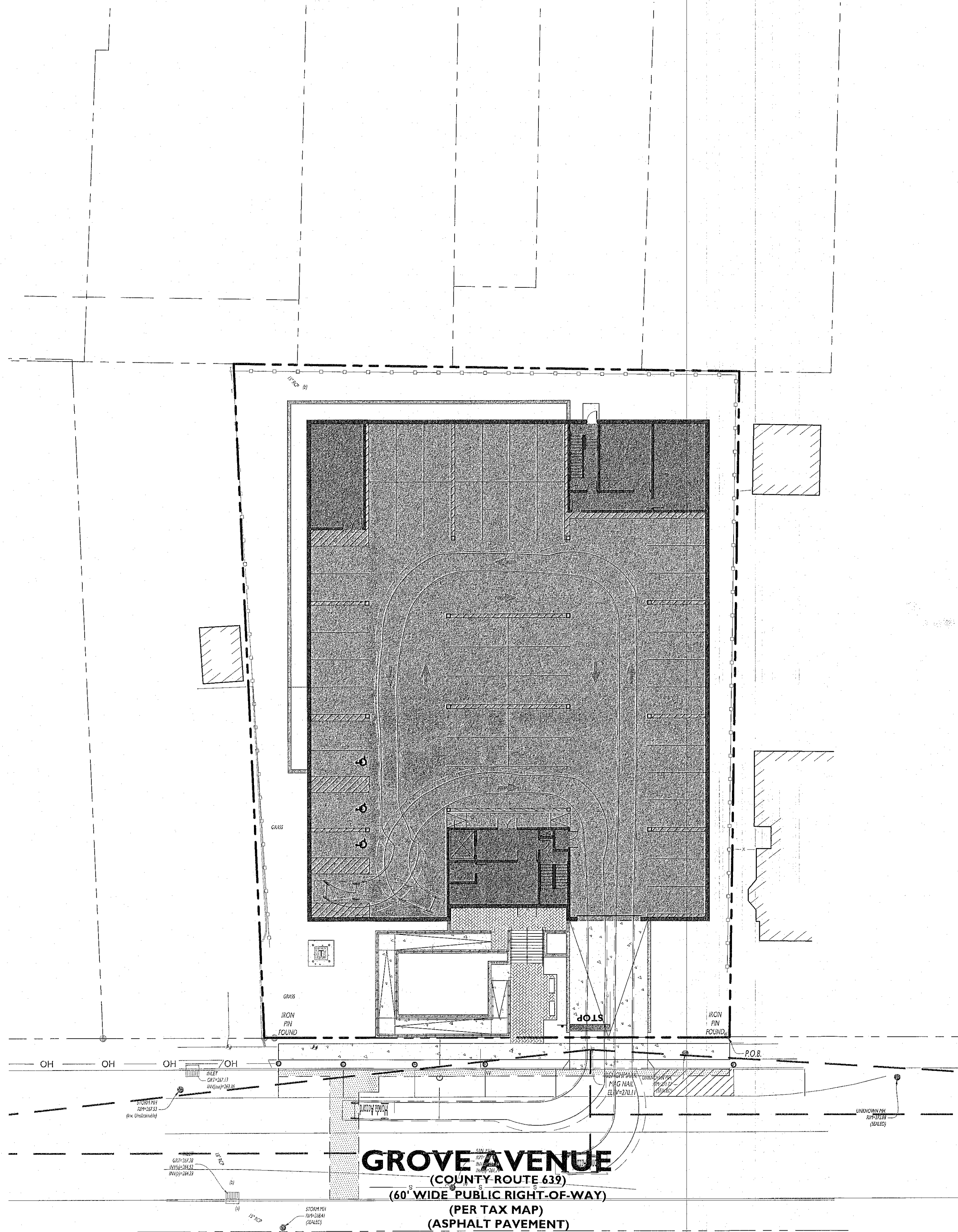
| LAMP INFORMATION | ANSI Code | Watts | Beam Spread | CBP | PK | Life (hrs.) | Base | Volts |
|------------------|-----------|-------|-------------|------|------|-------------|--------|-------|
| PAR30/30W/120V | 50 | 30 | 30° | 1400 | 2000 | 2000 | medium | 120 |

- NOTES AND FORMULAS**
- Beam diameter is 10% of maximum footcandle. Divided by the nearest light foot.
 - Footcandle values are initial. Apply appropriate light loss factors where necessary.
 - Base lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

ORDERING INFORMATION

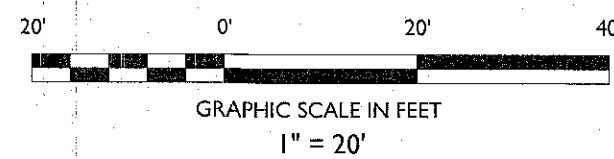
| Ordering Information | Accessories |
|--|--|
| Westwood 912/912-2 Lamp: PAR30/30W/120V CSC: 4500K | PAR30/30W/120V/4500K PAR30/30W/120V/5000K PAR30/30W/120V/6000K PAR30/30W/120V/7000K PAR30/30W/120V/8000K PAR30/30W/120V/9000K PAR30/30W/120V/10000K PAR30/30W/120V/11000K PAR30/30W/120V/12000K PAR30/30W/120V/13000K PAR30/30W/120V/14000K PAR30/30W/120V/15000K PAR30/30W/120V/16000K PAR30/30W/120V/17000K PAR30/30W/120V/18000K PAR30/30W/120V/19000K PAR30/30W/120V/20000K PAR30/30W/120V/21000K PAR30/30W/120V/22000K PAR30/30W/120V/23000K PAR30/30W/120V/24000K PAR30/30W/120V/25000K PAR30/30W/120V/26000K PAR30/30W/120V/27000K PAR30/30W/120V/28000K PAR30/30W/120V/29000K PAR30/30W/120V/30000K PAR30/30W/120V/31000K PAR30/30W/120V/32000K PAR30/30W/120V/33000K PAR30/30W/120V/34000K PAR30/30W/120V/35000K PAR30/30W/120V/36000K PAR30/30W/120V/37000K PAR30/30W/120V/38000K PAR30/30W/120V/39000K PAR30/30W/120V/40000K PAR30/30W/120V/41000K PAR30/30W/120V/42000K PAR30/30W/120V/43000K PAR30/30W/120V/44000K PAR30/30W/120V/45000K PAR30/30W/120V/46000K 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T:\2019\19055\1 AND 25 GROVE ASSOCIATES, LLC - 21 GROVE AVENUE, VERONA, NJ\ASPH\TRUCK.DWG



Honda Accord
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius

16.000ft
4.300ft
0.984ft
5.280ft
2.30s
19.000ft



| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|----------------------------|
| 1 | 09/20/2019 | TL | FOR MUNICIPAL SUBMISSION |
| 2 | 10/10/2019 | ANY | FOR MUNICIPAL SUBMISSION |
| 3 | 02/28/2020 | DBB | FOR MUNICIPAL SUBMISSION |
| 4 | 07/31/2020 | MEM | FOR MUNICIPAL SUBMISSION |
| 5 | 03/04/2021 | SPM | FOR MUNICIPAL RESUBMISSION |
| 6 | 06/25/2021 | BID | FOR MUNICIPAL RESUBMISSION |

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY AND FINAL SITE PLAN

21 & 25 GROVE ASSOCIATES, LLC.

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1702, LOT 22
21 GROVE AVENUE (C.R. 639)
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.
NEW JERSEY LICENSE NO. 4871
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: T-19059

TITLE:
TRUCK TURNING (HONDA ACCORD)

DRAWING:

C-15